



**AGENDA**  
**PLANNING AND ZONING COMMISSION**  
**MONDAY, MAY 9, 2022**  
**7:00 PM**  
**HISTORIC CHURCH BUILDING - 403 NORTH 7TH STREET**  
**SANGER, TEXAS**

**1. Call Meeting to Order, Establish a Quorum (Roll Call), Invocation.**

**2. CITIZEN INPUT:**

*(Citizens are allowed 3 minutes to speak. The Planning and Zoning Commission is unable to respond or discuss any issues brought up during this section.)*

**3. CONSENT AGENDA:**

**a. Approval of Minutes**

1. MINUTES FOR 04-19-2022

**4. Consider Any Items Removed from Consent Agenda.**

**REGULAR AGENDA**

**5. STEPHENS TOWNE CROSSING - ZONING CHANGE - PH**

Conduct a Public Hearing for a zoning change from A (Agricultural) to PD (Planned Development) for approximately 486 acres of tracts described as A0029A R. BEEBE, TR 66, 67, 68, 72B, 72B(2A)(1), 72 and 107, within the City of Sanger, and generally located on the north side of FM 455 adjacent the BNSF Railway and continuing east to Marion Rd and north to Lois Rd. (Hammonds)

**6. STEPHENS TOWNE CROSSING - ZONING CHANGE**

Consider a request for a zoning change from A (Agricultural) to PD (Planned Development) for approximately 486 acres of tracts described as A0029A R. BEEBE, TR 66, 67, 68, 72B, 72B(2A)(1), 72 and 107, within the City of Sanger, and generally located on the north side of FM 455 adjacent the BNSF Railway and continuing east to Marion Rd and north to Lois Rd. (Hammonds)

**7. 1114 N STEMMONS - SUP -PH**

Conduct a public hearing on a request for a Specific Use Permit (SUP) for Restaurant use located at 1114 N Stemmons Frwy. in the north suite of a multi-suite building on approximately 1.42 acres of land described as A00290A R. BEEBE, TR 133, zoned as Industrial 1 (I-1) within the City of Sanger and generally located on the corner of N 5th St and N Stemmons Frwy.

**8. 1114 N STEMMONS - SUP**

Consider a request for a Specific Use Permit (SUP) for Restaurant use located at 1114 N Stemmons Frwy. in the north suite of a multi-suite building on approximately 1.42 acres of land

described as A00290A R. BEEBE, TR 133, zoned as Industrial 1 (I-1) within the City of Sanger and generally located on the corner of N 5th St and N Stemmons Frwy. (Hammonds)

**9. LANE RANCH - ZONING CHANGE - PH**

Conduct a Public Hearing on a zoning change from A (Agricultural District) to PD (Planned Development) for approximately 326 acres of tracts described as A0029A R. BEEBE, TR 56, 56A, 56B, 60, 61 and 65, generally located on the south side of FM 455 and approximately 330 feet east of the intersection of Marion Road and FM 455 and continuing south to McReynolds Rd. (Hammonds)

**10. LANE RANCH - ZONING CHANGE**

Consider a request for a zoning change from A (Agricultural District) to PD (Planned Development) for approximately 326 acres of tracts described as A0029A R. BEEBE, TR 56, 56A, 56B, 60, 61 and 65, generally located on the south side of FM 455 and approximately 330 feet east of the intersection of Marion Road and FM 455 and continuing south to McReynolds Rd. (Hammonds)

**11. INFORMATION ITEMS:**

**12. FUTURE AGENDA ITEMS:**

*(The purpose of this item is to allow the Mayor and members of Board to bring forward items they wish to discuss at a future meeting, A Board Member may inquire about a subject for which notice has not been given. A statement of specific factual information or the recitation of existing policy may be given. Any deliberation shall be limited to a proposal to place the subject on an agenda for a subsequent meeting. Items may be placed on a future meeting agenda with a consensus of the Board or at the call of the Mayor).*

**13. ADJOURN.**

I, the undersigned authority, do hereby certify that this Notice of Meeting was posted on the City Website, and on the bulletin board, at the City Hall of the City of Sanger, Texas, a place convenient and readily accessible to the general public at all times. Said notice was posted on the following date and time, and remained posted continuously for at least 72 hours prior to the scheduled time of said meeting and shall remain posted until meeting is adjourned.



Kelly Edwards, City Secretary  
City of Sanger, Texas



May 5, 2022 at 2:20 p.m.

Date/Time Posted

*This facility is wheelchair accessible and accessible parking spaces are available. Requests for additional accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's office at (940) 458-7930 for further information.*



**PLANNING AND ZONING COMMISSION AGENDA MEMO**

**AGENDA ITEM NO.**

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**AGENDA MEETING DATE: May 9, 2022**

**TO: John Noblitt, City Manager**

**FROM:**

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**ITEM/CAPTION:**

**MINUTES FOR 04-19-2022**

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**AGENDA TYPE:**

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**ACTION REQUESTED:**

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**BACKGROUND:**

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**LEGAL/BOARD COMMISSION RECOMMENDATIONS/CITIZEN NOTICE FEEDBACK:**

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**FINANCIAL SUMMARY - FUNDING/FISCAL IMPACT:**

**FUNDS:**

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**STAFF RECOMMENDATION/ACTION DESIRED:**

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**ATTACHMENTS:**

| Description      | Upload Date | Type       |
|------------------|-------------|------------|
| MINUTES 04-19-22 | 5/3/2022    | Cover Memo |



**MINUTES  
PLANNING AND ZONING COMMISSION  
TUESDAY, APRIL 19, 2022  
7:00 PM  
HISTORIC CHURCH BUILDING - 403 N 7TH STREET  
SANGER, TEXAS**

**BOARD MEMBERS PRESENT:**

Matt Fuller, Sally Amendola, Jason Miller, Shane Stone, Jackie Turner, Allen McAlister

**BOARD MEMBERS ABSENT:**

Phillip Surlles, Bo Cooper

**STAFF MEMBERS PRESENT:**

Director of Development Services Ramie Hammonds , Permit Technician Stefani Dodson

**1. Call Meeting to Order, Establish a Quorum (Roll Call), Invocation.**

There being a quorum Matt Fuller called the meeting to order at 7:03 PM.

**2. CITIZEN INPUT:**

No citizens came forward to speak to the board.

**3. CONSENT AGENDA:**

Sally Amendola made a motion to approve the Consent Agenda. Jason Miller seconded the motion. Motion passes unanimously with a 6-0 vote.

**a. Approval of Minutes**

1. MINUTES FROM 03-14-22

2. MINUTES FROM 03-28-22

**4. Consider Any Items Removed from Consent Agenda.**

No items were discussed.

**REGULAR AGENDA**

**5. BLUE STAR INDUSTRIAL ADDITION - FINAL PLAT**

Consider a Final Plat of Lot 2, Block A of the Blue Star Industrial Addition, being 14.43 acres of the

Jose Ruiz Survey, Abstract Number 1066 and the S.F. Lynch Survey, Abstract Number 725, Denton County, Texas, located within the City of Sanger and generally located approximately 2150 feet south of the intersection of Chisum Rd and I-35.

Director of Development Services Ramie Hammonds goes over the project briefly. She explains that they are starting with lot 2 phase 1.

Sally Amendola asks if the commercial properties have a landscape ordinance.

Director of Development Services Ramie Hammonds explains that yes they will have a landscape plan.

There was a brief discussion about the project.

Matt Fuller makes a motion to approve with the condition all comments are met by 04-29-22. Shane Stone seconded the motion. Motion passes unanimously with a 6-0 vote.

**6. INFORMATION ITEMS:**

No items were discussed.

**7. FUTURE AGENDA ITEMS:**

No items were discussed.

**8. ADJOURN.**

With there being no further items on the agenda Matt Fuller adjourns the meeting at 7:26 p.m.

**AGENDA MEETING DATE: May 9, 2022**

**TO: John Noblitt, City Manager**

**FROM: Ramie Hammonds, Development Service Director**

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**ITEM/CAPTION:**

**STEPHENS TOWNE CROSSING - ZONING CHANGE - PH**

Conduct a Public Hearing for a zoning change from A (Agricultural) to PD (Planned Development) for approximately 486 acres of tracts described as A0029A R. BEEBE, TR 66, 67, 68, 72B, 72B(2A)(1), 72 and 107, within the City of Sanger, and generally located on the north side of FM 455 adjacent the BNSF Railway and continuing east to Marion Rd and north to Lois Rd. (Hammonds)

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**AGENDA TYPE:** Public Hearing

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**ACTION REQUESTED:**

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**BACKGROUND:**

- The applicants are proposing to rezone the subject property of approximately 486 acres from A (Agricultural) to PD (Planned Development) zoning.
- The property is located on the north side of FM 455 adjacent the BNSF Railway east to Marion and north to Lois Rd.
- It is made up of 7 different properties owned by STC 2WG LLC, STC DH LLC, STC Group Miller LLC, and Stephens Towne Crossing LLC. The properties are currently being used as pasture land, food truck site, storage buildings and manufacturing.
- The PD would consist of the Commerce District 30 acres, the Residential District 386 acres and the Multi-Family District 15 acres.
- Impact and Park fees would be by the current adopted ordinance at the time of the PD creation and remain at the same rate for 5 years from adoption date.
- A homeowners association will be established for maintenance.
- The total lot count for single family residential is 1532.
- The 60' lots would have a minimum house size of 2250 sq ft. and minimum lot size of 6300 sq ft
- The 50' lots would have a minimum house size of 1600 sq ft and minimum lot size of 5250 sq ft
- The 40' lots would have a minimum house size of 1600 sq ft with 10% allowed to be 1400-1599 sq ft and minimum lot size of 4800 sq ft
- The development has 46 acres of Parks and Open space, 5 acres for amenity center(s), 23 acres of floodplain open space, and 1.5 acre Multi-family open space.
- Collector roads shall be two 22' sections with 15' planted median at the entrances and within the Commerce area. Through residential areas the collector road shall be 37' back to back with a 24' parkway on either side.

- Double loaded residential streets will be 31' back of curb to back of curb
- Single-load and no-load residential streets will reduce pavement width to 27' back of curb to back of curb.

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**LEGAL/BOARD COMMISSION RECOMMENDATIONS/CITIZEN NOTICE FEEDBACK:**

Staff mailed ninety four (94) public hearing notices to the owners of properties within 200 feet of the subject property. Four responses were received 3 opposed and one not stated.

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**FINANCIAL SUMMARY - FUNDING/FISCAL IMPACT:**

N/A

**FUNDS:**

N/A

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**STAFF RECOMMENDATION/ACTION DESIRED:**

N/A

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**AGENDA MEETING DATE: May 9, 2022**

**TO: John Noblitt, City Manager**

**FROM: Ramie Hammonds, Development Service Director**

---

**ITEM/CAPTION:**

**STEPHENS TOWNE CROSSING - ZONING CHANGE**

Consider a request for a zoning change from A (Agricultural) to PD (Planned Development) for approximately 486 acres of tracts described as A0029A R. BEEBE, TR 66, 67, 68, 72B, 72B(2A)(1), 72 and 107, within the City of Sanger, and generally located on the north side of FM 455 adjacent the BNSF Railway and continuing east to Marion Rd and north to Lois Rd. (Hammonds)

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**AGENDA TYPE:** Regular

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**ACTION REQUESTED:** Approval

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**BACKGROUND:**

- The applicants are proposing to rezone the subject property of approximately 486 acres from A (Agricultural) to PD (Planned Development) zoning.
- The property is located on the north side of FM 455 adjacent the BNSF Railway east to Marion and north to Lois Rd.
- It is made up of 7 different properties owned by STC 2WG LLC, STC DH LLC, STC Group Miller LLC, and Stephens Towne Crossing LLC. The properties are currently being used as pasture land, food truck site, storage buildings and manufacturing.
- The PD would consist of the Commerce District 30 acres, the Residential District 386 acres and the Multi-Family District 15 acres.
- Impact and Park fees would be by the current adopted ordinance at the time of the PD creation and remain at the same rate for 5 years from adoption date.
- A homeowners association will be established for maintenance.
- The total lot count for single family residential is 1532.
- The 60' lots would have a minimum house size of 2250 sq ft. and minimum lot size of 6300 sq ft
- The 50' lots would have a minimum house size of 1600 sq ft and minimum lot size of 5250 sq ft
- The 40' lots would have a minimum house size of 1600 sq ft with 10% allowed to be 1400-1599 sq ft and minimum lot size of 4800 sq ft
- The development has 46 acres of Parks and Open space, 5 acres for amenity center(s), 23 acres of floodplain open space, and 1.5 acre Multi-family open space.
- Collector roads shall be two 22' sections with 15' planted median at the entrances and within the Commerce area. Through residential areas the collector road shall be 37' back to back with a 24' parkway on either side.

- Double loaded residential streets will be 31' back of curb to back of curb
- Single-load and no-load residential streets will reduce pavement width to 27' back of curb to back of curb.

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**LEGAL/BOARD COMMISSION RECOMMENDATIONS/CITIZEN NOTICE FEEDBACK:**

Staff mailed ninety four (94) public hearing notices to the owners of properties within 200 feet of the subject property. Four responses were received 3 opposed and one not stated.

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**FINANCIAL SUMMARY - FUNDING/FISCAL IMPACT:**

N/A

**FUNDS:**

N/A

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**STAFF RECOMMENDATION/ACTION DESIRED:**

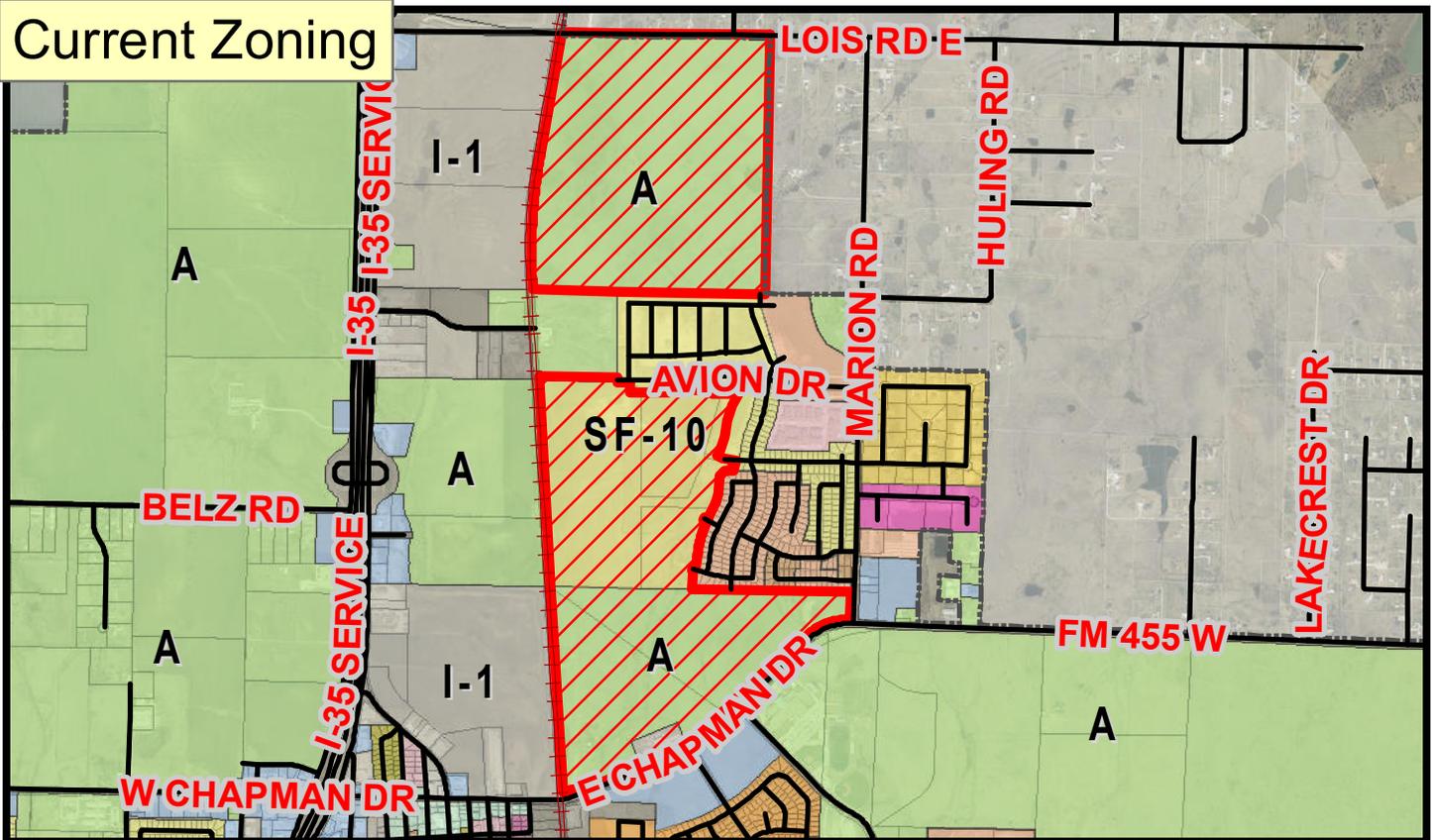
Staff recommends APPROVAL with the condition all staff comments are addressed prior to Council approval.

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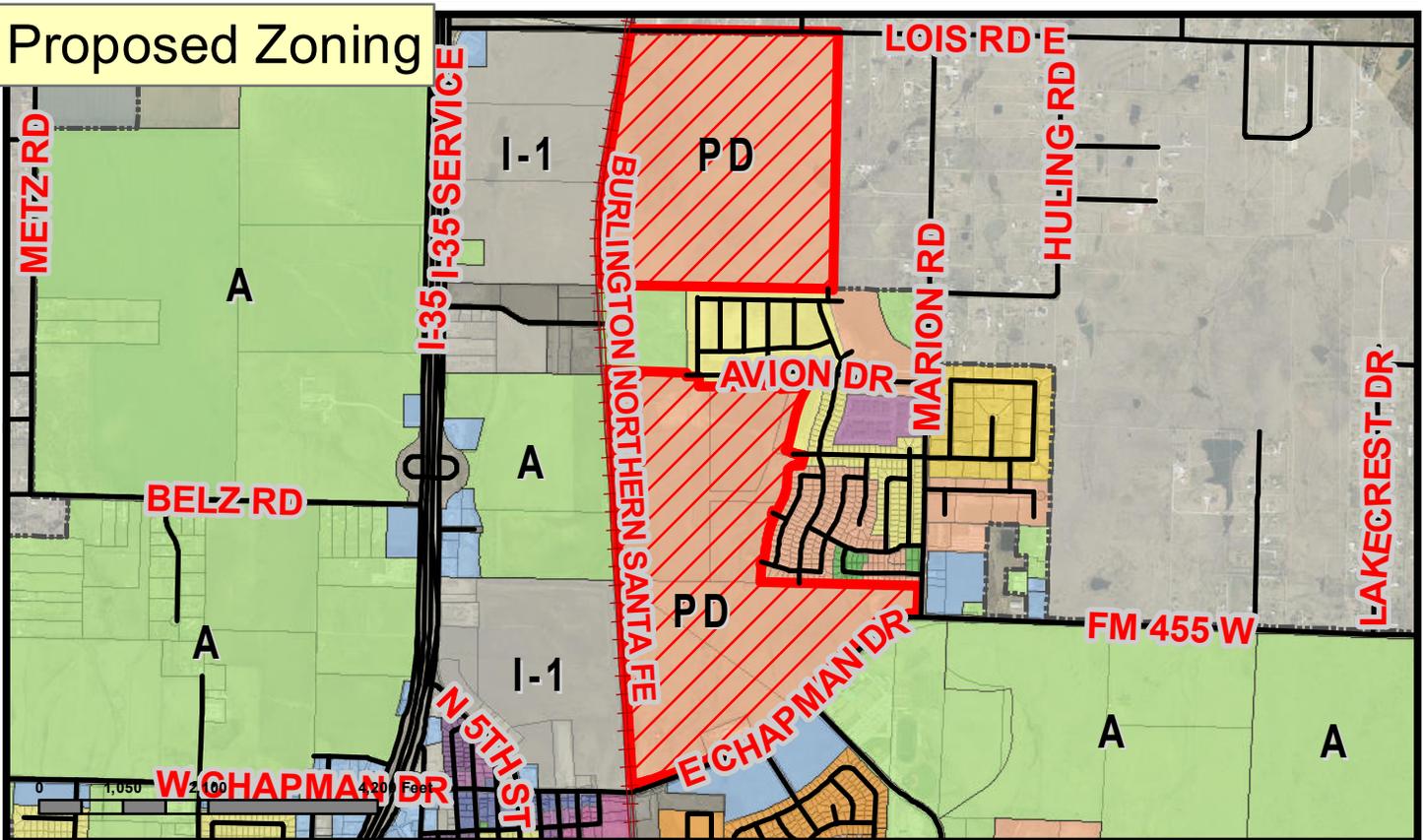
**ATTACHMENTS:**

| Description                  | Upload Date | Type       |
|------------------------------|-------------|------------|
| Location Map                 | 5/5/2022    | Cover Memo |
| Application                  | 5/5/2022    | Cover Memo |
| Letter of Intent             | 5/5/2022    | Cover Memo |
| Metes and Bounds Description | 5/5/2022    | Cover Memo |
| Boundary Map                 | 5/5/2022    | Cover Memo |
| Planned Development          | 5/5/2022    | Cover Memo |
| Returned Comment Response 1  | 5/5/2022    | Cover Memo |
| Returned Comment Response 2  | 5/5/2022    | Cover Memo |
| Returned Comment Response 3  | 5/5/2022    | Cover Memo |
| Returned Comment Response 4  | 5/5/2022    | Cover Memo |

# Current Zoning



# Proposed Zoning



Location: Stephens Crossing PD Zoning change request  
 Project: 22SANZON-0024

City Limits Exhibits

DISCLAIMER:  
 This map was generated by GIS data provided by the Sanger GIS Department. The City of Sanger does not guarantee the correctness or accuracy of any features on this map. These map products are for illustration purposes only and are not suitable for site-specific decision making. GIS data is subject to constant changes, and may not be complete, accurate or current.



#1

# SANGER

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★ TEXAS

## ZONING CHANGE/SUP APPLICATION

Zoning Change

Specific Use Permit

| Applicant        |                                     | Owner (if different from applicant) |                          |
|------------------|-------------------------------------|-------------------------------------|--------------------------|
| Name:            | Michael Beaty                       | Name:                               | Jon Anderson, President  |
| Company:         | Mooreland Development Company, Inc. | Company:                            | STC 2WG, LLC             |
| Address:         | 4516 Lovers Lane, Suite 350         | Address:                            | 103 East Virginia        |
| City, State, Zip | Dallas, TX 75225                    | City, State, Zip                    | McKinney, TX 75069       |
| Phone:           | (214) 287-9009                      | Phone:                              | (903) 563-2122           |
| Fax:             |                                     | Fax:                                |                          |
| Email:           | mike@mooreland.com                  | Email:                              | jon@presidentialland.com |

### Submittal Checklist

|                          |   |
|--------------------------|---|
| <input type="checkbox"/> | Site Plan (for Specific Use Permits Only)         |
| <input type="checkbox"/> | One (1) PDF Copy of Site Plan                     |
| <input type="checkbox"/> | Survey with Metes and Bounds Description          |
| <input type="checkbox"/> | Letter of Intent                                  |
| <input type="checkbox"/> | Application Fee (Check Payable to City of Sanger) |

I certify that I am the legal owner of the above referenced property and that to the best of my knowledge this is a true description of the property upon which I have requested the above checked action. I designate the applicant listed as my representative.

Describe the subject property (address, location, size, etc.):

The property is a 94.86-acre portion of the proposed +/-449-acre master-planned community located between Lois Road & FM 455, being east of the G.C. & S.F. Railroad and west of the Sanger Circle subdivision. Legal descriptions follow.

Describe the proposed zoning change or Specific Use Permit (SUP):

Zoning Planned Development

Jon Anderson  
Owner Signature

9.28.21  
Date

B  
Applicant Signature

09.06.2022  
Date

Office Use

|      |      |
|------|------|
| Fee  | 900  |
| Date | 4/11 |

#2

# SANGER

★ TEXAS

## ZONING CHANGE/SUP APPLICATION

Zoning Change

Specific Use Permit

| Applicant                                    | Owner (if different from applicant)        |
|--|--|
| Name: Michael Beaty                          | Name: Jon Anderson, President              |
| Company: Mooreland Development Company, Inc. | Company: STC DH, LLC                       |
| Address: 4516 Lovers Lane, Suite 350         | Address: 1221 N Jefferson Avenue           |
| City, State, Zip: Dallas, TX 75225           | City, State, Zip: Mount Pleasant, TX 75455 |
| Phone: (214) 287-9009                        | Phone: (903) 563-2122                      |
| Fax:   | Fax:                                       |
| Email: mike@mooreland.com                    | Email: jon@presidentialland.com            |

### Submittal Checklist

|   |
|---|
| Site Plan (for Specific Use Permits Only)         |
| One (1) PDF Copy of Site Plan                     |
| Survey with Metes and Bounds Description          |
| Letter of Intent                                  |
| Application Fee (Check Payable to City of Sanger) |

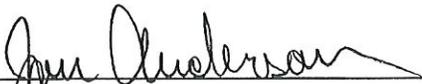
I certify that I am the legal owner of the above referenced property and that to the best of my knowledge this is a true description of the property upon which I have requested the above checked action. I designate the applicant listed as my representative.

Describe the subject property (address, location, size, etc.):

The property is a 25-acre portion of the proposed +/-449-acre master-planned community located between Lois Road & FM 455, being east of the G.C. & S.F. Railroad and west of the Sanger Circle subdivision. Legal descriptions follow.

Describe the proposed zoning change or Specific Use Permit (SUP):

Zoning Planned Development

  
Owner Signature

9.28.21  
Date

  
Applicant Signature

09.06.2022  
Date

Office Use

|      |
|------|
| Fee  |
| Date |

# SANGER

---

★ TEXAS

## ZONING CHANGE/SUP APPLICATION

Zoning Change

Specific Use Permit

| Applicant                                    | Owner (if different from applicant)    |
|--|--|
| Name: Michael Beaty                          | Name: Jon Anderson, President          |
| Company: Mooreland Development Company, Inc. | Company: STC Group Miller, LLC         |
| Address: 4516 Lovers Lane, Suite 350         | Address: 2411 Wesley Street, No. 204   |
| City, State, Zip: Dallas, TX 75225           | City, State, Zip: Greenville, TX 75401 |
| Phone: (214) 287-9009                        | Phone: (903) 563-2122                  |
| Fax:   | Fax:                                   |
| Email: mike@mooreland.com                    | Email: jon@presidentialland.com        |

### Submittal Checklist

|   |
|---|
| Site Plan (for Specific Use Permits Only)         |
| One (1) PDF Copy of Site Plan                     |
| Survey with Metes and Bounds Description          |
| Letter of Intent                                  |
| Application Fee (Check Payable to City of Sanger) |

I certify that I am the legal owner of the above referenced property and that to the best of my knowledge this is a true description of the property upon which I have requested the above checked action. I designate the applicant listed as my representative.

Describe the subject property (address, location, size, etc.):

The property is the northern 203-acres (m/l) of the proposed +/-445-acre master-planned community located between Lois Road & FM 455, being east of the G.C. & S.F. Railroad and west of the Sanger Circle subdivision. Legal descriptions follow.

Describe the proposed zoning change or Specific Use Permit (SUP):

Zoning Planned Development

Jon Anderson  
Owner Signature

4/6/2022  
Date

[Signature]  
Applicant Signature

04.06.2022  
Date

### Office Use

|      |
|------|
| Fee  |
| Date |

#4



### ZONING CHANGE/SUP APPLICATION

Zoning Change

Specific Use Permit

| Applicant        |                                     | Owner (if different from applicant) |                                 |
|------------------|-------------------------------------|-------------------------------------|---------------------------------|
| Name:            | Michael Beaty                       | Name:                               | Ken Prater, Manager             |
| Company:         | Mooreland Development Company, Inc. | Company:                            | Stephens Towne Crossing, LLC    |
| Address:         | 4516 Lovers Lane, Suite 350         | Address:                            | 16950 Dallas Parkway, Suite 100 |
| City, State, Zip | Dallas, TX 75225                    | City, State, Zip                    | Dallas, TX 75248-1942           |
| Phone:           | (214) 287-9009                      | Phone:                              | (214) 435-6251                  |
| Fax:             |                                     | Fax:                                |                                 |
| Email:           | mike@mooreland.com                  | Email:                              | kenprater@aol.com               |

#### Submittal Checklist

|   |
|---|
| Site Plan (for Specific Use Permits Only)         |
| One (1) PDF Copy of Site Plan                     |
| Survey with Metes and Bounds Description          |
| Letter of Intent                                  |
| Application Fee (Check Payable to City of Sanger) |

I certify that I am the legal owner of the above referenced property and that to the best of my knowledge this is a true description of the property upon which I have requested the above checked action. I designate the applicant listed as my representative.

Describe the subject property (address, location, size, etc.):

The property is a 128.28-acre portion of the proposed +/-449-acre master-planned community located between Lois Road & FM 455, being east of the G.C. & S.F. Railroad and west of the Sanger Circle subdivision. Legal descriptions follow.

Describe the proposed zoning change or Specific Use Permit (SUP):

Zoning Planned Development

*Ken Prater* manager  
Owner Signature

9/28/2021  
Date

*[Signature]*  
Applicant Signature

07-06-2022  
Date

Office Use

|      |
|------|
| Fee  |
| Date |

City of Sanger  
201 Bolivar P.O. Box 1729  
Sanger, TX 76266  
940-458-2059 (office) 940-458-4072 (fax) www.sangertexas.org

Effective Date: 9/03/2019



### ZONING CHANGE/SUP APPLICATION

Zoning Change

Specific Use Permit

| Applicant                                    | Owner (if different from applicant)      |
|--|--|
| Name: Michael Beaty                          | Name: Ken Prater, Manager                |
| Company: Mooreland Development Company, Inc. | Company: Stephens Towne Crossing, LLC    |
| Address: 4516 Lovers Lane, Suite 350         | Address: 16950 Dallas Parkway, Suite 100 |
| City, State, Zip: Dallas, TX 75225           | City, State, Zip: Dallas, TX 75248-1942  |
| Phone: (214) 287-9009                        | Phone: (214) 435-6251                    |
| Fax:   | Fax:                                     |
| Email: mike@mooreland.com                    | Email: kenprater@aol.com                 |

#### Submittal Checklist

|                          |   |
|--------------------------|---|
| <input type="checkbox"/> | Site Plan (for Specific Use Permits Only)         |
| <input type="checkbox"/> | One (1) PDF Copy of Site Plan                     |
| <input type="checkbox"/> | Survey with Metes and Bounds Description          |
| <input type="checkbox"/> | Letter of Intent                                  |
| <input type="checkbox"/> | Application Fee (Check Payable to City of Sanger) |

I certify that I am the legal owner of the above referenced property and that to the best of my knowledge this is a true description of the property upon which I have requested the above checked action. I designate the applicant listed as my representative.

Describe the subject property (address, location, size, etc.):

The property is a 4.94-acre portion of the proposed +/-449-acre master-planned community located between Lois Road & FM 455, being east of the G.C. & S.F. Railroad and west of the Sanger Circle subdivision. Legal descriptions follow.

Describe the proposed zoning change or Specific Use Permit (SUP):

Zoning Planned Development

  
Owner Signature

9/20/2024  
Date

  
Applicant Signature

09-06-2022  
Date

#### Office Use

|      |
|------|
| Fee  |
| Date |

City of Sanger  
201 Bolivar P.O. Box 1729  
Sanger, TX 76266

940-458-2059 (office) 940-458-4072 (fax) www.sangertexas.org

Effective Date: 9/03/2019



April 7, 2022

Ms. Ramie Hammonds  
Development Services Director/Building Official  
City of Sanger  
201 Bolivar St.  
P.O. Box 1729  
Sanger, TX 76266

**RE: Zoning Planned Development Letter of Intent – Stephen’s Towne Crossing**

Ms. Hammonds,

On behalf of our client, STC South, LLC, we respectfully submit this Letter of Intent describing our Zoning Planned Development Application request for the Stephen’s Towne Crossing project.

Stephens Town Crossing is a 483-acres multi-use project within the City of Sanger. More specifically, the project is located on FM 455, south of Lois Road and west of the Sanger Circle subdivision.

The existing zoning consists of Agricultural, Single-Family Residential 10, Business District 2, and Industrial 1. Our request is to rezone the property to a Planned Development. This request corresponds to the City’s existing Future Land Plan for the property with a future land use combination of moderate density residential, urban low density residential and commercial.

We appreciate your review and consideration of our request. If you have questions or require additional information, please contact me at (972) 464-4827 or by email at [bmann@bgeinc.com](mailto:bmann@bgeinc.com).

Sincerely,

A handwritten signature in blue ink, appearing to read 'W. Brett Mann', with a long horizontal line extending to the right.

W. Brett Mann, PLA, ASLA  
Director, Planning & Landscape Architecture

WBM/file

Attachments

Serving. Leading. Solving.™

BGE, Inc. • 2595 Dallas Parkway, Suite 101 • Frisco, Texas 75034 • 972-464-4800 • [www.bgeinc.com](http://www.bgeinc.com)

**Actual City Adoption Ordinance precedes this page.**

**Ordinance No. PD2021-XX  
Exhibit "A"  
Boundary Description of the Property**

**STEPHENS TOWNE CROSSING  
NORTH TRACT**

BEING, all of that 202.417 acre (8,817,282 square foot) tract of land situated in the Reuben Bebee Survey, Abstract No. 29, in the City of Sanger, Denton County, Texas; being all of that tract of land described in General Warranty Deed to Hanly A. Miller, David N. Miller and James I. Miller as recorded in Document No. 2021-137766 of the Official Records of Denton County, Texas; said 202.417 acre tract of land being more particularly described by metes and bounds as follows:

BEGINNING, at a PK Nail found the northwest corner of said Miller tract; said point being in the east line of that tract of land described in Deed to the Gulf Colorado & Santa Fe Railway Company as recorded in Volume 31, Page 331 of the Deed Records of Denton County, Texas; said point being in the approximate center of Lois Road (variable width right-of-way, no record of dedication found across said Miller tract);

THENCE, South 89 degrees 31 minutes 02 seconds East, departing the east line of Gulf Colorado & Santa Fe Railway Company tract, and along the center of said Lois Road, a distance of 2,111.09 feet to a PK nail with "BGE" washer set for corner;

THENCE, South 88 degrees 43 minutes 36 seconds East, continuing along the center of said Lois Road, a distance of 452.56 feet to a 5/8-inch iron rod with "BGE" washer set at the northeast corner of said Miller tract; said point being the northwest corner of that tract of land described in Warranty Deed to Mildred E. Hunt as recorded in Document No. 2019-5766 of the Official Records of Denton County, Texas;

THENCE, South 01 degrees 11 minutes 29 seconds West, along the east line of said Miller tract, at a distance of 2,015.43 feet passing a 1/2-inch iron rod with "KERN" cap found at the southwest corner of Lot 4, Block 1, Abney Acres, an addition to Denton County as recorded in Cabinet M, Page 64 of the Plat Records of Denton County, Texas; continuing in all a total distance of 3,187.45 feet to a point at the southeast corner of said Miller tract; said point being the southwest corner of said Abney Acres; said point being in the north line of that tract of land described in Warranty Deed with Vendor's Lien to Sanger Land Development, LLC as recorded in Document No. 2019-16167 of the Official Records of Denton County, Texas;

THENCE, North 88 degrees 57 minutes 55 seconds West, along the south line of said Miller tract, a distance of 1,826.34 feet to a square 1/2-inch iron rod found for corner; said point being the northwest corner of said Sanger Land tract; said point being the northeast corner of that tract of land described in Warranty Deed to the City of Sanger as recorded in Volume 1125, Page 943 of the Deed Records of Denton County, Texas;

THENCE, North 89 degrees 02 minutes 06 seconds West, continuing along the south line of said Miller tract and the north line of said City of Sanger tract, a distance of 1,022.29 feet to a 5/8-inch iron rod with "BGE" cap set at the southwest corner of said Miller tract; said point being in the east line of said Gulf Colorado & Santa Fe Railway Company tract;

THENCE, along the west line of said Miller tract and the east line of said Gulf Colorado & Santa Fe Railway Company tract, the following three (3) courses and distances:

North 03 degrees 24 minutes 06 seconds West, a distance of 68.55 feet to a 5/8-inch iron rod with "BGE" cap set for corner and the beginning of a curve to the right;

In a northeasterly direction, along said curve to the right, an arc length of 1,580.71 feet, having a radius of 6,737.93 feet, a central angle of 13 degrees 26 minutes 29 seconds, and a chord which bears North 03 degrees 11 minutes 03 seconds East, 1,577.09 feet to a 5/8-inch iron rod with "BGE" cap set for corner;

North 09 degrees 58 minutes 19 seconds East, a distance of 1,544.66 feet to the POINT OF BEGINNING and containing an area of 202.417 acres or 8,817,282 square feet of land, more or less.

## **STEPHENS TOWNE CROSSING SOUTH TRACT**

BEING, all of that 250.799 acre (10,924,792 square foot) tract of land situated in the Reuben Bebee Survey, Abstract No. 29, in the City of Sanger, Denton County, Texas; being all of that tract of land in described Special Warranty Deed with Vendor's Lien to Stephens Towne Crossing, LLC as recorded in Document No. 2019-131788 of the Official Records of Denton County, Texas; being all of that tract of land described in Warranty Deed with Vendor's Lien to STC 2WG, LLC as recorded in Document No. 2020-189627 of the Official Records of Denton County, Texas; being part of that tract called 5.034 acres tract of land as described in General Warranty Deed to Stephen Town Crossing, LLC as recorded in Document No. 2020-6351 of the Official Records of Denton County, Texas; and being all of that tract of land described in Special Warranty Deed with Vendor's Lien to STC DH, LLC as recorded in Document No. 2021-6530 of the Official Records of Denton County, Texas; said 250.799 acre tract of land being more particularly described by metes and bounds as follows:

BEGINNING, at a 1/2-inch iron rod with "EAGLE SURVEYING" cap found at the southeast corner of said STC 2WG, LLC tract; said point being in the north line of said Stephens Towne Crossing tract; said point being the southwest corner of Sanger Circle, Phase 4, an addition to the City of Sanger as recorded in Document No. 2016-74 of the Plat Records of Denton County, Texas;

THENCE, South 88 degrees 54 minutes 07 seconds East, with the north line of said Stephens Towne Crossing tract, a distance of 1,964.53 feet to a point at the northeast corner of said Stephens Towne Crossing tract; said point being in the west right-of-way line of Marion Road (variable width right-of-way);

THENCE, South 02 degrees 30 minutes 40 seconds West, with the east line of said Stephens Towne Crossing tract, a distance of 342.13 feet to a wooden right-of-way monument found for corner at the beginning of a non-tangent curve to the left; said point being in the north right-of-way line of F.M. 455 (variable width right-of-way);

THENCE, with the south line of said Stephens Towne Crossing tract and the north line of said F.M. 455, the following twelve (12) courses and distances:

In a southwesterly direction, along said curve to the left, an arc length of 613.13 feet, having a radius of 761.31 feet, a central angle of 46 degrees 08 minutes 37 seconds, and a chord which bears South 68 degrees 53 minutes 41 seconds West, 596.69 feet to a point for corner;

South 45 degrees 56 minutes 45 seconds West, a distance of 136.85 feet to point for corner at the beginning of a curve to the left;

In a southwesterly direction, along said curve to the left, an arc length of 404.14 feet, having a radius of 2,070.31 feet, a central angle of 11 degrees 11 minutes 04 seconds, and a chord which bears South 51 degrees 32 minutes 25 seconds West, 403.50 feet to a point for corner;

South 45 degrees 56 minutes 19 seconds West, a distance of 1,209.17 feet to a 5/8-inch iron rod with "TxDOT" cap found for corner;

South 43 degrees 57 minutes 29 seconds East, a distance of 10.04 feet to a 5/8-inch iron rod with "TxDOT" cap found for corner at the beginning of a curve to the right;

In a southwesterly direction, along said curve to the right, an arc length of 250.44 feet, having a radius of 1,440.22 feet, a central angle of 09 degrees 57 minutes 47 seconds, and a chord which bears South 50 degrees 55 minutes 58 seconds West, 250.12 feet to a point for corner; said point being in the east line of said 5.034 acre tract;

In a southwesterly direction, along said curve to the right, an arc length of 302.78 feet, having a radius of 1,440.22 feet, a central angle of 12 degrees 02 minutes 43 seconds, and a chord which bears South 62 degrees 03 minutes 52 seconds West, 302.22 feet to a point for corner;

South 69 degrees 12 minutes 33 seconds West, a distance of 327.64 feet to a point for corner;

South 69 degrees 08 minutes 18 seconds West, a distance of 571.57 feet to a point for corner;

North 20 degrees 48 minutes 31 seconds West, a distance of 21.37 feet to a point for corner;

South 69 degrees 11 minutes 29 seconds West, a distance of 180.35 feet to a 5/8-inch iron rod with "TxDOT" cap found for corner at the beginning of a curve to the right;

In a southwesterly direction, along said curve to the right, an arc length of 235.73 feet, having a radius of 958.14 feet, a central angle of 14 degrees 05 minutes 47 seconds, and a chord which bears South 76 degrees 14 minutes 22 seconds West, 235.14 feet to a point at the southwest corner of said Stephens Towne Crossing tract; said point being in the east line of that tract of land described in Deed to the Gulf Colorado & Santa Fe Railway Company as recorded in Volume 31, Page 331 of the Deed Records of Denton County, Texas;

THENCE, North 03 degrees 27 minutes 49 seconds West, along the east line of said Gulf Colorado & Santa Fe Railway tract, a distance of 2,545.70 feet to a 60D nail found at the northwest corner of said Stephens Towne Crossing tract; said point being the southwest corner of said STC 2WG, LLC tract;

THENCE, North 03 degrees 24 minutes 06 seconds West, continuing along the east line of said Gulf Colorado & Santa Fe Railway tract, a distance of 2,551.21 feet to a 5/8-inch iron rod found at the northwest corner of said STC 2WG, LLC tract; said point being the southwest corner of that tract of land described in Warranty Deed to the City of Sanger as recorded in Volume 11215, Page 943 of the Deed Records of Denton County Texas;

THENCE, departing the east line of said Gulf Colorado & Santa Fe Railway tract, and with the north line of said STC 2WG, LLC tract, the following thirteen (13) courses and distances:

South 88 degrees 45 minutes 38 seconds East, a distance of 957.19 feet to a point at the southeast corner of said City of Sanger tract; said point being in a west line of that tract of land described in Warranty Deed with Vendor's Lien to Sanger Land Development, LLC as recorded in Document No. 2019-16167 of the Official Records of Denton County, Texas;

South 00 degrees 02 minutes 50 seconds East, a distance of 9.99 feet to a point for corner;

North 89 degrees 59 minutes 50 seconds East, a distance of 184.99 feet to a point for corner;

South 44 degrees 58 minutes 30 seconds West, a distance of 21.19 feet to a point for corner;

South 00 degrees 02 minutes 35 seconds East, a distance of 105.01 feet to a point for corner;

North 89 degrees 59 minutes 50 seconds East, a distance of 454.87 feet to a point for corner at the beginning of a curve to the left;

In a northeasterly direction, along said curve to the left, an arc length of 60.45 feet, having a radius of 905.00 feet, a central angle of 03 degrees 49 minutes 38 seconds, and a chord which bears North 88 degrees 05 minutes 00 seconds East, 60.44 feet to a point for corner;

North 86 degrees 10 minutes 12 seconds East, a distance of 322.04 feet to a point for corner;

North 03 degrees 49 minutes 48 seconds West, a distance of 105.02 feet to a point for corner;

North 48 degrees 49 minutes 48 seconds West, a distance of 21.18 feet to a point for corner;

North 86 degrees 10 minutes 12 seconds East, a distance of 186.01 feet to a point for corner;

South 03 degrees 50 minutes 26 seconds East, a distance of 181.19 feet to a point for corner;

North 86 degrees 09 minutes 34 seconds East, a distance of 318.54 feet to a point at the most northerly northeast corner of said STC 2WG, LLC tract;

THENCE, South 26 degrees 23 minutes 48 seconds West, a distance of 168.86 feet to a point at the northeast corner of said STC DH, LLC tract; said point being the beginning of a curve to the left;

THENCE, with the east line of said STC DH, LLC tract, the following four (4) courses and distances:

In a southwesterly direction, along said curve to the left, an arc length of 191.06 feet, having a radius of 1,825.00 feet, a central angle of 05 degrees 59 minutes 54 seconds, and a chord which bears South 15 degrees 55 minutes 32 seconds West, 190.97 feet to a point for corner;

South 12 degrees 55 minutes 35 seconds West, a distance of 206.04 feet to a point for corner at the beginning of a curve to the right;

In a southwesterly direction, along said curve to the right, an arc length of 166.86 feet, having a radius of 1,175.00 feet, a central angle of 08 degrees 08 minutes 11 seconds, and a chord which bears South 16 degrees 59 minutes 41 seconds West, 166.72 feet to a point for corner;

South 21 degrees 03 minutes 47 seconds West, a distance of 98.23 feet to a point for corner; said point being in a north line of said STC 2WG, LLC tract;

THENCE, South 70 degrees 57 minutes 10 seconds East, departing the east line of said STC DH, LLC tract, and along the north line of said STC 2WG, LLC tract, a distance of 65.78 feet to a point for corner at the beginning of a curve to the left;

THENCE, in a southeasterly direction, continuing along the north line of said STC 2WG, LLC tract and said curve to the left, an arc length of 178.41 feet, having a radius of 1,030.00 feet, a central angle of 09 degrees 55 minutes 27 seconds, and a chord which bears South 75 degrees 54 minutes 22 seconds East, 178.18 feet to a 1/2-inch iron rod with "KAZ" cap found for corner; said point being in the west line of Sanger Trails, Phase 1 an addition to the City of Sanger as recorded in Cabinet U, Page 77 of the Plat Records of Denton County, Texas;

THENCE, South 09 degrees 31 minutes 15 seconds West, along the east line of said STC 2WG, LLC tract, a distance of 120.59 feet to a point for corner; said point being the southwest corner of said Sanger Trails, Phase 1; said point being in the north line of said Sanger Circle, Phase 4;

THENCE, along the east line of said STC 2WG, LLC tract and the west line of said Sanger Circle, Phase 4, the following fifteen (15) courses and distances:

North 88 degrees 35 minutes 38 seconds West, a distance of 121.83 feet to a point for corner;

South 46 degrees 24 minutes 40 seconds West, a distance of 85.27 feet to a point for corner;

South 01 degrees 24 minutes 40 seconds West, a distance of 229.07 feet to a point for corner at the beginning of a curve to the right;

In a southwesterly direction, along said curve to the right, an arc length of 112.93 feet, having a radius of 235.00 feet, a central angle of 27 degrees 32 minutes 01 seconds, and a chord which bears South 15 degrees 10 minutes 39 seconds West, 111.85 feet to a point for corner;

South 28 degrees 56 minutes 40 seconds West, a distance of 178.94 feet to a point for corner at the beginning of a curve to the left;

In a southwesterly direction, along said curve to the left, an arc length of 39.99 feet, having a radius of 1,265.00 feet, a central angle of 01 degrees 48 minutes 41 seconds, and a chord which bears South 28 degrees 02 minutes 19 seconds West, 39.99 feet to a point for corner;

North 64 degrees 24 minutes 42 seconds West, a distance of 42.44 feet to a point for corner;

South 25 degrees 35 minutes 18 seconds West, a distance of 50.00 feet to a point for corner;

South 64 degrees 24 minutes 42 seconds East, a distance of 42.08 feet to a point for corner at the beginning of a non-tangent curve to the left;

In a southwesterly direction, along said curve to the left, an arc length of 465.33 feet, having a radius of 1,265.00 feet, a central angle of 21 degrees 04 minutes 34 seconds, and a chord which bears South 14 degrees 19 minutes 49 seconds West, 462.71 feet to a 1/2-inch iron rod with "5190" cap found for corner at the beginning of a reverse curve to the right;

With said reverse curve, along said curve to the right, an arc length of 110.26 feet, having a radius of 480.00 feet, a central angle of 13 degrees 09 minutes 41 seconds, and a chord which bears South 10 degrees 22 minutes 22 seconds West, 110.02 feet to a 1/2-inch iron rod with "5190" cap found for corner;

North 73 degrees 02 minutes 14 seconds West, a distance of 21.62 feet to a point for corner;

South 16 degrees 57 minutes 46 seconds West, a distance of 50.00 feet to a point for corner;

South 73 degrees 02 minutes 14 seconds East, a distance of 6.05 feet to a point for corner;

South 02 degrees 17 minutes 58 seconds West, a distance of 224.91 feet to the POINT OF BEGINNING and containing an area of 250.799 acres or 10,924,792 square feet of land, more or less.

**Ordinance No. 2021-XX  
Exhibit "B"  
Zoning Boundary Map**



**Zoning Boundary Exhibit  
Stephens Towne Crossing**

City of Sanger  
Denton County, Texas  
04/07/2022

**MOORELAND COMPANIES**  
BCE, INC.  
2516 13613 AS HWYWAY  
SUITE 101  
FRISCO, TX 75034

© 2022 Mooreland Companies, Inc. All rights reserved. This map is intended to provide a general overview of the project and is not intended to be used as a legal document. For more information, please contact the City of Sanger Planning Department at (817) 251-1361.

**ORDINANCE No. 2021-XX**  
**EXHIBIT "C"**  
**PD-2021-\_\_ DEVELOPMENT REGULATIONS**

**Planned Development District No. -2021-XX (PD--2021-XX STC Sanger)**

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## I. Components of Development Regulations for PD-2021-\_\_ "STC Sanger PD"

### A. Introduction

The use and development regulations set forth in this Exhibit C for Planned Development District No. -2021-XX (sometimes referred to hereafter as the "STC Sanger Planned Development District" or the "STC Sanger PD") are intended to provide for and encourage development that contains a compatible mix of RESIDENTIAL and COMMERCE uses in close proximity to one another. These regulations are further intended to provide for a balanced and sustainable mix of land uses, siting and character of the improvements and structures that support increased interaction within the community and enjoyment of OPEN SPACES. STC Sanger fosters economic growth and diverse neighborhoods having DETACHED and ATTACHED SINGLE-FAMILY RESIDENTIAL, MULTI-FAMILY RESIDENTIAL and vibrant COMMERCE Centers linked together through a network of PEDESTRIAN PATHWAYS and TRAIL system.

The STC Sanger PD addresses the physical relationship between development and adjacent properties, public streets, neighborhoods, and the natural environment through,

- Ensuring buildings relate appropriately to surrounding developments and streets to create cohesive visual identity and attractive street scenes;
- Ensuring site design promotes efficient pedestrian and vehicle circulation patterns;
- Ensuring creation of high-quality street and sidewalk environments that are supportive of pedestrian mobility and appropriate to roadway context; and,
- Ensuring large sites are developed in a manner scaled to the context of the community.

Words as phrase shown in all CAPITAL LETTERS are defined in Section IX. Definitions.

### B. Key Elements

The following constitutes a summary of the key elements of this Ordinance regarding the regulation of uses, building envelopes, public spaces, architecture, streetscape, and definitions of words and phrases used within this Ordinance.

#### 1. Development Districts and Subareas

STC Sanger DEVELOPMENT DISTRICTS consist of the COMMERCE DISTRICT, the RESIDENTIAL DISTRICT and the MULTI-FAMILY DISTRICT, which may contain SUBAREAS that delineate different land uses and specific RESIDENTIAL development within the DISTRICTS. (See Appendix A – Development District Map; Appendix B – Development Subarea Map)

##### a. COMMERCE DISTRICT

The 30.17+/- acres South Parcels along FM 455 and 6.75+/- acres North Parcels along Lois Road of land designated as COMMERCE DISTRICT is designated for the development of small, single lot, one story, single-purpose COMMERCE uses and SHOPPING CENTERS, MIXED USE BUILDINGS, OFFICES, and all uses allowed under Section III. B. 1. of this document.

##### b. RESIDENTIAL DISTRICT

The 386.60+/- acres of land designated as RESIDENTIAL DISTRICT is designated for the development of a mix of DETACHED single-family residential uses. SUBAREAS include SINGLE-FAMILY DETACHED (SFD) RESIDENTIAL with 40-, 50- and 60-foot lot widths, common areas, open space, parks, schools, amenity centers, and all uses allowed under Section III. D. 1. of this document.

##### c. MULTI-FAMILY DISTRICT

The 15.00+/- acres of land designated as MULTI-FAMILY DISTRICT is designated for the development of ATTACHED RESIDENTIAL units with a net density of up to 24 units per acre. Other uses within this district may include parking, swimming pools, amenity spaces, common areas, and all uses allowed under Section III. C. 1. of this document.

**2. Land Use**

The DEVELOPMENT SUBAREA MAP is a depiction of the land uses authorized to be developed within the COMMERCE, MULTI-FAMILY, and RESIDENTIAL DISTRICTS showing a mix of COMMERCE, DETACHED, ATTACHED and MULTI-FAMILY RESIDENTIAL uses and designated PARK/OPEN SPACES. (See Appendix B – Development Subarea Map). The table below illustrates acreages by use and zoning districts.

*Note: Final configuration of Single-Family Detached by Section to be determined at Final Plat for each section, with up to a 15% Deviation allowed between lot types as shown, so long as the total # of lots does not exceed the maximum amount specified per Residential Development Sub-Section.*

**Land Use and Development District Table**

| Land Uses  | Acres         | %    | Subtotal |
|--|---------------|------|----------|
| <b>Commerce (Along FM 455)</b>                   | <b>26.42</b>  | 6%   |          |
| <b>Multi-Family (Located within Section I-B)</b> | <b>15.00</b>  | 3%   |          |
| <b>Single Family - South</b>                     |               |      |          |
| Single Family Detached by Section:               |               |      |          |
|  | 40's          | 50's | 60's     |
|  | <b>141.15</b> | 31%  |          |
| Section I-A & IB                                 | 122           | 99   | 62       |
| Section II-A & IIB                               | 81            | 278  | 89       |
|  |               |      |          |
| <b>Commerce (Along FM Lois Road)</b>             | <b>6.75</b>   | 1%   |          |
| <b>Single Family - North</b>                     |               |      |          |
| Single Family Detached by Section:               |               |      |          |
|  | 40's          | 50's | 60's     |
|  | <b>155.19</b> | 34%  |          |
| Section III-A & IIIB                             | 269           | 459  | 73       |
|  |               |      |          |
| <b>Fire Station Dedication</b>                   | <b>3.00</b>   | 1%   |          |
| <b>Elementary School Site</b>                    | <b>12.00</b>  | 3%   |          |
| <b>Parks / Open Space / Amenity Centers</b>      | <b>77.37</b>  | 17%  |          |
| <b>Street ROW and miscellaneous</b>              | <b>16.40</b>  | 4%   |          |
|  |               |      |          |
| <b>TOTAL</b>                                     | <b>453.28</b> | 100% | 1532     |

**Comparison to City of Sanger Housing Policy**

|                  | City of Sanger     |      |                      |          |                   |                   | Total | Cap of smaller homes<br>10% |
|------------------|--------------------|------|----------------------|----------|-------------------|-------------------|-------|-----------------------------|
|                  | Housing Policy %'s |      | Min Home Size (sqft) | Lot Size | Lot Count - South | Lot Count - North |       |                             |
|                  | City Policy        | STC  |                      |          |                   |                   |       |                             |
| Under 1,499 sqft | 30%                | 2%   | 1400-1599            | 40's     | 20                | 27                | 472   | 43                          |
|                  |                    | 24%  | 1600+                | 40's     | 183               | 242               |       |                             |
| 1500-1,999       | 30%                | 5%   | 1600-1799            | 50's     | 38                | 46                | 836   | 75                          |
|                  |                    | 42%  | 1800+                | 50's     | 339               | 413               |       |                             |
| 2,000+ sqft      | 25%                | 1%   | 1800 - 1999          | 60's     | 14                | 8                 | 224   | 20                          |
|                  |                    | 11%  | 2000 +               | 60's     | 137               | 65                |       |                             |
| Multi-Family     | 12%                | 14%  |                      |          | 250               | 0                 | 250   |                             |
| Mobile Homes     | 3%                 | 0%   |                      |          | 0                 | 0                 | 0     |                             |
|                  | 100%               | 100% |                      |          |                   |                   | 1782  |                             |

**3. Impact and Park Fees**

PD-2021\_\_ is to be governed by the current Adopted Ordinance(s) regarding Impact Fee (Water, Sanitary, Storm and Thoroughfare) and Park Fees and/or required Dedications for a period of Five years from the date of adoption. Included with PD-2021\_\_ as **Exhibit C** are the currently adopted City of Sanger Ordinances. These Ordinance standards, fees and collection rates will apply to all land included within PD-2021\_\_ at the time of adoption of PD-2021\_\_, and the land included within PD-2021\_\_.

**4. II. General Development Standards**

The GENERAL DEVELOPMENT STANDARDS section addresses standards that apply across DEVELOPMENT DISTRICTS, including STREET, block and ALLEY standards, rules for defining BUILDING HEIGHT and STORIES, lot setbacks, and permitted yard encroachments.

**5. III. Use and Building Envelope Standards**

The USE and BUILDING ENVELOPE STANDARDS section establishes basic parameters for permitted and prohibited uses, building siting, lot widths, height, stories, overall densities and required PARK/OPEN SPACE.

**6. IV. Architectural Standards**

The ARCHITECTURAL STANDARDS section governs both COMMERCE and RESIDENTIAL building architectural elements and appurtenances related to the FAÇADE materials, FENESTRATION, windows, ENTRYWAYS, roofing, solar, service areas and related standards.

**7. V. Lighting, Parking and Signage Standards**

The LIGHTING, PARKING and SIGNAGE STANDARDS section establishes the standards for public/private space lighting, provision of adequate parking, and compatible signage.

**8. VI. Landscaping and Park/Open Space and Other Recreation Standards**

The LANDSCAPING and PARK/OPEN SPACE and OTHER RECREATION STANDARDS section addresses required landscaping for COMMERCE and RESIDENTIAL uses and the planned PARK/OPEN SPACES, TRAILS and other recreation amenities.

**9. VII. Street Standards**

The STREET STANDARDS section summarizes the STC Sanger classification of STREETS and the planned STREET cross sections.

**10. VIII. Administration**

The ADMINISTRATION section addresses processes for CITY review and approvals for development within STC Sanger.

**11. IX. Definitions**

The DEFINITIONS section sets out how words used in the STC Sanger PD are defined. Words not defined within this section are defined in the CITY'S Comprehensive Zoning Ordinance, but if not defined within either source words shall have the same meaning as defined within Merriam-Webster Dictionary.

**12. X. Appendix**

The APPENDIX contains all of the ORDINANCE'S referenced maps and illustrations as well as the legal description for the Planned Development.

## II. General Development Standards

### A. Principles and Intent

- Provide an environment that allows for a healthy mix of COMMERCE, MULTI-FAMILY and SINGLE-FAMILY RESIDENTIAL uses
- Create SINGLE-FAMILY RESIDENTIAL development that offers a mix of DETACHED and ATTACHED homes providing a greater range of housing choices for families and individuals.

### B. General Development Standards

#### 1. Streets, BLOCKS and ALLEYS

- a. All lots shall front on a public right-of-way or PARK/OPEN SPACE.
- b. No STREET intersection shall occur within one hundred and twenty-five (125) feet of another STREET intersection.
- c. Curb cuts within the COMMERCE DISTRICT shall be determined during Preliminary Plat review.
- d. No building shall encroach upon required corner sight distances.

#### 2. Buildings

- a. BUILDING HEIGHT for COMMERCE and MULTI-FAMILY uses shall be measured in STORIES.
- b. BUILDING HEIGHT for SINGLE-FAMILY RESIDENTIAL uses shall be measured in feet from the existing grade to the midpoint of a gabled roof line or the top of the parapet or mansard roof.
- c. ATTIC STORIES
  - (1) ATTIC STORIES shall be permitted on all sites and do not count against the maximum STORY limit.
  - (2) ATTIC STORIES having windows shall have only DORMER windows on the building FAÇADE.

#### 3. Building Setbacks

- a. Buildings shall not occupy any portion of a required setback area.
- b. Single-Family Residential Corner lots shall have a 15' building setback on the Side Street frontage unless otherwise specified on the Preliminary Plat and/or Plot Plan.
- c. Buildings located along the same STREET or PARK/OPEN SPACE frontage shall have the same front yard setback based upon whichever setback is the greater.
- d. Buildings abutting an ALLEY shall have a minimum side setback from the ALLEY of five (5) feet.

#### 4. Setback Encroachments/Building Projections

- a. No portion of a building or building appurtenance shall project into a right-of-way or across a property line of an adjacent property.
- b. Ordinary building projections and building appurtenance, including, but not limited to sills, belt courses, EAVES, gutters, pilasters, and cornices shall not project more than twelve (12) inches into any setback area, except as provided below:
  - (1) Front building EAVES on COMMERCE uses may project into the front yard setback by no more than three (3) feet if a vertical clear height of at least ten (10) feet is maintained.
  - (2) AWNINGS for COMMERCE uses may project fully into the front yard setback area if a vertical clear height of at least ten (10) feet is maintained.

- (3) BALCONIES on COMMERCE uses may project into the front yard setback by four (4) feet if a vertical clear height of at least twelve (12) feet is maintained.
- (4) COMMERCE signs may project into the front yard setback up to three (3) feet beyond the FAÇADE of a building occupied by a COMMERCE use if a vertical clear height of at least ten (10) feet is maintained.
- (5) Stairs and STOOPS may encroach fully into the front yard setback.

**5. Utilities**

All utilities constructed or installed on the Property shall be underground.

**6. Energy Efficiency**

It is the intent of this PD to encourage all building (COMMERCIAL and RESIDENTIAL) to utilize energy efficiency at the standards that are commonly used by the building industry employing such practices as the Home Energy Rating System (HERS) Index, the International Energy Conservation Code (IECC) and International Code Council's (ICC's) International Green Construction Code (IGCC). The exact standards to be employed will be determined at issuance of building permits.

### III. Use and Building Envelope Standards

#### A. Principles and Intent

This USE AND BUILDING ENVELOPE STANDARDS section sets forth the uses and building envelopment standards that are permitted, permitted with approval of a SPECIFIC USE PERMIT, and prohibited for areas designated on the DEVELOPMENT DISTRICT MAP for the following DISTRICTS:

- Land designated as COMMERCE DISTRICT is designated for the development of small, single lot, one story, single-purpose COMMERCE uses and shopping centers with areas for smaller scale RETAIL, MIXED USE BUILDINGS, and OFFICES, along with other uses permitted upon approval of a SPECIFIC USE PERMIT.
- Land designated as RESIDENTIAL DISTRICT is designated for the development of a mix of DETACHED SINGLE FAMILY RESIDENTIAL uses along with other uses permitted upon approval of a SPECIFIC USE PERMIT.
- Land designated as MULTI-FAMILY RESIDENTIAL DISTRICT is designated for the development of MULTI-FAMILY RESIDENTIAL uses along with other uses permitted upon approval of a SPECIFIC USE PERMIT.

#### B. Commerce District

##### 1. Commerce – Uses

###### a. Permitted uses

- (1) COMMERCE uses including BUSINESS SERVICE, OFFICE, PERSONAL SERVICE, RETAIL SERVICE, RETAIL SPECIALTY, RETAIL TRADE, STUDIO USES, restaurants, coffee shops, except where requiring a SPECIFIC USE PERMIT or prohibited by this Ordinance or the CZO.
- (2) COMMERCIAL INDOOR AMUSEMENT
- (3) SENIOR/ASSISTED LIVING FACILITY
- (4) SCHOOL, COLLEGE OR UNIVERSITY
- (5) SCHOOL, PRIMARY OR SECONDARY
- (6) Grocery Store with Food and Beverage Sales
- (7) Alcoholic Beverage sales permitted throughout commercial tracts
  - (a) Alcoholic Beverages shall be limited to on/off premise consumption
- (8) Veterinarian Clinic with indoor pens for animal boarding
- (9) Veterinarian Hospital and/or Veterinary Boarding facility with outside Play areas permitted; no outside boarding of animals will be permitted.
- (10) Children’s Day Camp
- (11) Tavern
- (12) Inside Tool Rental
- (13) Gas Station with 10,000 square foot building
- (14) Cash Advance/Pay-Day Loan Office
- (15) Loan Office
- (16) Food Trucks
- (17) Automotive repair, maintenance, and tire sales.

- b. Permitted ACCESSORY USES
  - (1) AFFILIATED RESIDENTIAL USES
  - (2) HOME OCCUPATIONS
  - (3) Merchandise sales located outside of a retail establishment in accordance with Code of Ordinance sec. 62.19, as amended.
  - (4) PARK/OPEN SPACE and accompanying non-commercial recreational facilities for use by residents and guests
  - (5) Outdoor seating associated with a restaurant subject to CITY approval
  - (6) Special events subject to review and approval by CITY
  - (7) Surface parking
  
- c. Uses permitted upon review and approval of a SPECIFIC USE PERMIT
  - (1) AMENITY CENTER
  - (2) AMPHITHEATER
  - (3) CIVIC BUILDING
  - (4) LIMITED SERVICE OR EXTENDED STAY HOTEL
  - (5) Outside display
  - (6) SKILLED NURSING HOME FACILITY, SENIOR/ASSISTED LIVING FACILITY and any STRUCTURED PARKING
  - (7) Telephonic, radio, television or microwave, communication antennas and tower
  - (8) Used goods or merchandise sales
  
- d. Prohibited uses
  - (1) COMMERCE use within a RESIDENTIAL unit other than a HOME OCCUPATION
  - (2) Gas wells
  - (3) Industrial, manufacturing, and warehousing uses
  - (4) Outside storage
  - (5) Sexually oriented business
  - (6) Tattoo parlors

**2. Commerce – Building Lot Dimensional Standards**

a. Dimensional Table

|          | Min. Lot Width (ft) | Min. Lot Depth (ft) | Min. Front Yard Setback (ft) | Min. Rear Yard Setback (ft) Alley/No Alley | Min. Side Yard Setback (ft) | Min. Zero Side Yard Setback (ft) | Min./Max. Stories | Min. Int. Story Ht. Ground/Other (ft) | Max. Lot Coverage (%) |
|----------|---------------------|---------------------|------------------------------|--|-----------------------------|----------------------------------|-------------------|---------------------------------------|-----------------------|
| Commerce | N/A                 | N/A                 | 10                           | 5/10                                       | 10/10                       | N/A                              | 1/4               | 10/9                                  | 90                    |

b. Additional Dimensional Standards

- (1) The maximum permitted lot coverage for uses not listed in the Dimensional Table shall be determined upon approval of a SPECIFIC USE PERMIT or PRELIMINARY PLAT.
- (2) Architectural embellishments not intended for human occupancy that are integral to the architectural style of the buildings, including spires, belfries, towers, cupolas, domes, and roof forms whose area in plain view is no greater than twenty-five percent (25%) of the first floor footprint may exceed the height limits by up to twenty (20) feet.
- (3) Mechanical equipment, including mechanical/elevator equipment penthouse enclosures, ventilation equipment, chimneys, exhaust stacks and flues, fire sprinkler tanks, and other similar constructions may extend up to twelve (12) feet above the actual building height, provided that:
  - (a) The equipment is set back from all exterior walls a distance at least equal to the vertical dimension that such item(s) extend(s) above the actual building height; or
  - (b) The exterior wall and roof surfaces of such items that are set back less than the vertical dimension above the actual building are constructed as architecturally integral parts of the building façade(s) or as architectural embellishments as described in item (2) of this subparagraph b.

### C. Multi-Family District

#### 1. Multi-Family – Uses

- a. Permitted uses
  - (1) MULTI-FAMILY RESIDENTIAL (MFD)
  - (2) Amenity Center (Private or Semi-Private) and Ancillary Uses
- b. Permitted ACCESSORY USES
  - (1) ACCESSORY BUILDING or STRUCTURE
  - (2) AFFILIATED RESIDENTIAL USES
  - (3) HOME OCCUPATIONS
  - (4) PARK/OPEN SPACE and accompanying recreational facilities for use by residents and guests
- c. Uses permitted upon review and approval of a SPECIFIC USE PERMIT
  - (1) ACCESSORY UNIT
  - (2) AMENITY CENTER
  - (3) AMPHITHEATER
  - (4) CIVIC BUILDING
  - (5) SCHOOL, PRIMARY OR SECONDARY
  - (6) Special events subject to review and approval by CITY
- d. Prohibited uses
 

Any use that is not expressly set forth as a permitted use in this Subsection C “RESIDENTIAL DISTRICT” or not considered incidental to the primary permitted use.

#### 2. Multi-Family Development Standards:

- a. Multi-family Sub-district. The purpose of this Multi-family Sub-district is to provide suitable areas for the development of multi-family residential structures at densities not to exceed 20 units per gross acre.
- b. Maximum density: 20 dwellings units per gross acre within the entire Multi-family tract.

- c. Maximum Unit Count: 250 Units
- d. Minimum building setbacks from public right-of-way line: 20 feet along FM 455 for all structures. Roof, columns, balcony and porch overhangs, fireplaces and window boxes may extend into the building setback. A maximum encroachment of five (5) feet into the front setback shall be allowed.
- e. Minimum building setback from other property lines: 5 feet.
- f. Minimum building spacing: 20 feet between buildings, or less, as permitted by applicable Building Code.
- g. Maximum number of units per dwelling by type:
  - (1) Efficiency Units may not exceed 15% of the total units
- h. Minimum floor area per unit type:
  - (1) Efficiency: 450 square feet
  - (2) One bedroom: 600 square feet
  - (3) Two bedroom: 750 square feet
  - (4) Three bedroom: 900 square feet
- i. Maximum Structure Height: 3 stories or a maximum of 45 feet as measured to the midpoint of the pitched roof. Architectural projections above forty-five feet height (45') level may be allowed. However, these projections may not exceed fifty-five feet (55') in height.
- j. Minimum parking requirements: 1.6 parking spaces per unit, as approved or amended by City Manager or Designee based upon a submitted Resident Parking Regulation and Management Plan as part of the Site Plan Approval
- k. Additional Parking Regulations:
  - (1) Parking requirements may be met by onsite parking spaces, garage spaces, or nearby on-street parking spaces located within 1000 feet of a building.
  - (2) Garage parking may be located attached to residential structures or in detached garages or carports or in structured parking garage. Carports or garages shall be architecturally compatible with the main structures in the project.
  - (3) Private garages shall be designed with a minimum garage parking space measuring 12 feet by 20 feet in size. A minimum door width of 9 feet shall be provided.
  - (4) Tandem parking spaces, exclusive of on-street parallel parking, meeting a minimum dimension of 9 feet x 18 feet can be counted towards the minimum parking requirement.

**3. Multi-Family – Building Lot Dimensional Standards**

a. Dimensional Table

|                          | Min. Lot Width (ft) | Min. Lot Depth (ft) | Min. Front Yard Setback (ft) | Min. Rear Yard Setback (ft) | Min. Side Yard Setback (ft) | Min. Zero Side Yard Setback (ft) | Min./Max. Stories | Min. Int. Story Ht. Ground/ Other (ft) | Max. Lot Coverage (%) |
|--------------------------|---------------------|---------------------|------------------------------|-----------------------------|-----------------------------|----------------------------------|-------------------|--|-----------------------|
| Multi-Family Residential | N/A                 | N/A                 | 10                           | 5/10                        | 10/10                       | N/A                              | 1/4               | 10/9                                   | 80                    |

**D. Residential District**

**1. Residential – Uses**

- a. Permitted uses
  - (1) SINGLE-FAMILY DETACHED RESIDENTIAL (SFD)
  - (2) Amenity Center (Private or Semi-Private) and Ancillary Uses
- b. Permitted ACCESSORY USES
  - (1) ACCESSORY BUILDING or STRUCTURE
  - (2) AFFILIATED RESIDENTIAL USES
  - (3) HOME OCCUPATIONS
  - (4) PARK/OPEN SPACE and accompanying recreational facilities for use by residents and guests
- c. Uses permitted upon review and approval of a SPECIFIC USE PERMIT
  - (1) ACCESSORY UNIT
  - (2) AMENITY CENTER
  - (3) AMPHITHEATER
  - (4) CIVIC BUILDING
  - (5) SCHOOL, PRIMARY OR SECONDARY
  - (6) SENIOR/ASSISTED LIVING FACILITY and/or SKILLED NURSING HOME FACILITY and any STRUCTURED PARKING
  - (7) Special events subject to review and approval by CITY
- d. Prohibited uses
 

Any use that is not expressly set forth as a permitted use in this Subsection C “RESIDENTIAL DISTRICT” or not considered incidental to the primary permitted use.

**2. Residential – Building Lot Dimensional Standards**

a. Dimensional Table

| Lot Types | Min. Lot Width | Min. Lot Depth <sup>1</sup> | Minimum Building Setbacks |           |                            |                         | Max. Stories | Max. Height | Max. Lot Coverage |
|-----------|----------------|-----------------------------|---------------------------|-----------|----------------------------|-------------------------|--------------|-------------|-------------------|
|           |                |                             | Front Yard                | Rear Yard | Side Yard / On Side Street | Side Yard               |              |             |                   |
| SFD-60    | 60'            | 105'                        | 20' <sup>2</sup>          | 10'       | 5' / 10'                   | N/A                     | 3.0          | 40'         | 65%               |
| SFD-50    | 50'            | 105'                        | 10' or 20' <sup>2</sup>   | 10'       | 5' / 10'                   | N/A                     | 2.5          | 35'         | 65%               |
| SFD-40    | 40'            | 105'                        | 10' or 20' <sup>2</sup>   | 10'       | 5' / 10'                   | .5' / 9.5' <sup>3</sup> | 2.5          | 35'         | 70%               |

<sup>1</sup> For lots abutting a street, the lot line furthest from the street shall be used to determine required lot depth.

<sup>2</sup> Front-load lots: 10' garage front setback for garages perpendicular to STREET (j-swing); 20' garage front setback for garages parallel to street. (See Appendix D – Typical Building Lot Setbacks and Coverages)

<sup>3</sup> Zero lot line side setback is specified as a 0.5 feet on one side to avoid encroachment of gutters or window sills into abutting lot.

b. Additional Dimensional Standards

- (1) The maximum permitted lot coverage for uses not listed in the Dimensional Table shall be determined upon approval of a SPECIFIC USE PERMIT or PRELIMINARY PLAT.

- (2) Typical building setbacks and lot coverages are illustrated in the **Appendix D – Typical Building Lot Setbacks and Coverages**.
- (3) Conceptual Building Elevations set forth in **Appendix E – Conceptual Building Elevations**.
- c. Minimum SINGLE FAMILY RESIDENTIAL Square Footages
  - (1) 60-foot lot – 1,800 square feet
  - (2) 50-foot lot – 1,600 square feet
  - (3) 40-foot lot – 1,400 square feet (Builders may construct up to Ten percent (10%) of homes on 40' lots between 1,400-1,599 square feet. The remaining Ninety percent (90%) will be a minimum of 1,600 square feet.

## IV. Architectural Standards

### A. Principles and Intent

The ARCHITECTURAL STANDARDS set forth in this Section IV serve to establish a coherent character and encourage a high caliber, lasting quality development.

- Building Entrances – The design and location of building entrances are important to help define the pedestrian environment and the architectural significance of a building.
- Building Materials – Building walls should reflect construction techniques and structural constraints of traditional, long lasting, building materials.
- Equivalent or Better – While materials, techniques, and product types are prescribed herein, equivalent or better practices and products are encouraged and shall be submitted to the CITY for review.
- Refer to Appendix E at the back of this document for representative architectural examples.

### B. Architectural Standards for Commerce and Multi-Family Structures

#### 1. Building FAÇADES

- a. FAÇADE treatments are that portion of a building's STREET FRONTAGE FAÇADE elevation extending from the ground to the roof that consists of a single layer or architectural expression.
- b. The follow FAÇADE treatments shall be required:
  - (1) All building sides shall be consistent with respect to style, colors, and details only to the extent they establish continuity with the STREET FRONTAGE;
  - (2) All building sides shall be architecturally finished on all sides with articulation, detailing, and features unless exceptions are approved as part of PRELIMINARY PLAT;
  - (3) No building FAÇADE shall be longer than four hundred and thirty (430) feet without an unconnected physical separation of at least fifteen (15) feet between buildings;
  - (4) The horizontal dimension of a wall opening shall not exceed the vertical dimension;
  - (5) Wall openings shall not span vertically more than one STORY;
  - (6) COMMERCE BUILDINGS (not used solely for OFFICES) shall incorporate architectural elements such as AWNINGS, BALCONIES, and COLONNADES, to unify separate parts of a building, and to provide a human scale or backdrop for signage and graphics;
  - (7) COMMERCE and MULTI-FAMILY BUILDINGS may be designed and constructed in tri-partite architecture so the buildings have a distinct base, middle, and top;
  - (8) COMMERCE BUILDINGS that occupy PAD SITES shall have similar architectural design characteristics as the remainder of the project such as building materials, patterns, rhythms, and proportions; and,
  - (9) Architectural design that does not conform with the specific requirements of this Section IV, but which has merit by making a positive contribution to the visual environment, may be approved as a Special Exception granted as part of the approved PRELIMINARY PLAT.

#### 2. Building FAÇADE Materials

- a. Permitted PRIMARY BUILDING MATERIALS (which must cover not less than 75% of the area of the FAÇADE) shall be:

- (1) MASONRY/STONE
- (2) Hardie-Plank™ equivalent or better siding
- (3) Other PRIMARY BUILDING MATERIALS authorized pursuant to a Special Exception granted as a part of the approved PRELIMINARY PLAT .
- b. Permitted SECONDARY BUILDING MATERIAL (no greater than 25% of the area of the FAÇADE) may be:
  - (1) STUCCO/PLASTER
- c. ACCENT BUILDING MATERIALS (no greater than 5% of the area of the FAÇADE) may be:
  - (1) Pre-cast masonry (for trim and cornice elements only)
  - (2) Gypsum reinforced fiber concrete (for trim elements only)
  - (3) Metal (for beams, lintels, trim elements and ornamentation only)
  - (4) Split-faced CMU block (only for piers, foundation walls and chimneys)
  - (5) EIFS, with prior approval of the building official
- d. Limits and Location of PRIMARY BUILDING MATERIALS
  - (1) All building elevations shall have not less than seventy-five percent (75%) PRIMARY BUILDING MATERIALS.
  - (2) COURTYARD FAÇADES may have less than seventy-five percent (75%) but not less than sixty percent (60%) PRIMARY BUILDING MATERIALS.
  - (3) ACCENT BUILDING MATERIALS may be used on any of the above building elevations but only in the permitted locations and not exceeding the maximum permitted five percent (5%) on any elevation.
- e. Calculation of the percentage of permitted materials shall not include the area of the FAÇADE containing doors (including garage doors) and window or exterior wall areas built on top of a roof (DORMERS).
- f. Building Configurations and Techniques
  - (1) MASONRY/STONE shall be detailed and placed in an appropriate load-bearing configuration.
  - (2) STUCCO/PLASTER shall be smooth or sand only, with no roughly textured finish.
  - (3) Wood simulation materials (such as Hardie-Plank™) shall be configured as horizontal lap siding except where used for trim, soffits, fascia, or similar adornments.

**3. Building ENTRANCES**

- a. Main entrances to buildings and exterior lease space shall be clearly identifiable to pedestrians and motorists as primary points of access to buildings.
- b. Entrances to COMMERCE BUILDINGS shall be accentuated by AWNINGS or architectural building features such as lintels, pediments, columns, porticos, overhangs, railings, balustrades, and other similar features compatible with the building's architectural style, materials, colors, and details.

**4. Building FENESTRATION**

- a. General

The FENESTRATION standards in this paragraph 4 are applicable only to FAÇADES facing a STREET FRONTAGE.

- b. COMMERCE and MULTI-FAMILY RESIDENTIAL FENESTRATION

- (1) MULTI-FAMILY RESIDENTIAL shall have FENESTRATION comprising not less than forty percent (40%) but not more than ninety percent (90%) on the GROUND FLOOR FAÇADE.

- (2) COMMERCE buildings shall have FENESTRATION comprising not less than fifty percent (50%) but not more than ninety percent (90%) on the GROUND FLOOR FAÇADE.
- (3) COMMERCE and MULTI-FAMILY RESIDENTIAL buildings shall have FENESTRATION on upper story FAÇADES comprising not less than thirty percent (30%) of the FAÇADE as measured between STORIES.

## 5. Building Windows

Placement, type, and size of windows and doors help establish the scale and vitality of the PUBLIC SPACE and for RETAIL shops they allow interplay between the shop interiors and the PUBLIC SPACE. Windows shall be installed and designed in accordance with the following:

### a. Window Materials

- (1) Window glass shall be clear, with light transmission at the GROUND STORY of not less than eighty percent (80%) and upper STORIES of not less than seventy-five percent (75%) with modifications as necessary to meet any applicable City building and energy ordinance requirements (except if used to provide RESIDENTIAL privacy).
- (2) Specialty windows such as stained, opalescent, or glass block shall be permitted in limited amounts, but in no case greater than fifteen (15) percent of the total window area of the FAÇADE unless approved as a SPECIAL EXCEPTION granted as part of a PRELIMINARY PLAT.
- (3) Window screens shall be black or gray.
- (4) Solar screens are permitted only on FAÇADES not visible from the PUBLIC SPACE.

### b. Window Configurations

- (1) The horizontal dimension of the window opening shall not exceed the vertical dimension except as noted in (2), below.
- (2) A maximum of five (5) windows may be mullioned horizontally together to form a compound window which may be wider than it is tall if each grouping is separated by a mullion, column, pier or wall section that is not less than seven (7) inches wide.
- (3) Windows shall be vertical in proportion by a ratio of 1.25:1 or more (height to width).

## 6. Building AWNINGS and CANOPIES

### a. General

- (1) AWNINGS and CANOPIES may be installed and located subject to Section II.B.4, above.
- (2) Structural AWNINGS may be used at ground level to enhance articulation of building volumes.

### b. Materials, Illumination and Location

- (1) AWNINGS and CANOPIES shall be architectural and constructed with fully opaque materials that complement the building to which they are attached; provided, however, no shiny or reflective materials are permitted.
- (2) AWNINGS and CANOPIES shall not encroach into a PEDESTRIAN PATHWAY or interfere with STREET TREES or STREET lighting.
- (3) AWNINGS and CANOPIES shall not be internally illuminated in a manner that illuminates the AWNINGS or CANOPY material; provided, however, downward lighting limited to lighting the building FAÇADE, sidewalk areas, and seating areas, is permitted to be installed beneath AWNINGS and CANOPIES).
- (4) AWNINGS located on front building FAÇADES shall not exceed forty (40) feet in length.
- (5) CANOPIES shall not be used on front building FAÇADES and shall not exceed one hundred (100) feet in length.

- (6) NO AWNING or CANOPY shall be located closer than five (5) feet from the end of another AWNING or CANOPY.
- (7) Structural columns and support systems supporting CANOPIES shall be MASONRY, steel, or other materials authorized by City's construction codes provided the appearance of such support systems are architecturally compatible with the building FAÇADE.

**7. Building Roofs and Parapets**

The regulations for Roofs and PARAPETS set forth in this Paragraph 7 are designed to encourage developers to demonstrate common sense recognition of the City's climate by utilizing appropriate pitch, drainage, and materials when designing buildings within PD-2021-\_\_ in order to provide visual coherence.

a. Permitted Roof Materials

(1) Authorized Materials

- (a) High definition architectural asphalt shingles
  - (b) Tile, clay or concrete (faux clay)
  - (c) Slate (equivalent synthetic or better)
  - (d) Metal (standing seam, equivalent or better)
  - (e) Roofing material for flat roofs shall be monolithic Thermoplastic Polydefin (TPO) membrane or equivalent determined by Building Official
  - (f) Cornices and soffits may be a combination of wood, vinyl, and/or metal
  - (g) Flat Roofing areas as applicable to be TPO
- (2) Roofing materials shall have a minimum 30-year rated warranty.
- (3) Any roofing material not authorized by this Subparagraph a. is expressly prohibited.
- (4) Flat Roofs
- Roof material interior to the PARAPET shall not be visible from any adjacent ground-level areas.

b. Roofs, Dormers and Chimneys

- (1) DORMERS and chimney chases above the roof structure shall be finished with a permitted PRIMARY BUILDING MATERIAL or a siding material of Hardie-Plank™ equivalent.
- (2) Fireplace flues shall be enclosed and finished to be complimentary of the building's exterior. Finished construction of exposed pre-fabricated metal flue piping is prohibited.

**8. Skylights, Solar Panels, Roof Vents and Wind Driven Devices**

a. Skylights, solar panels and roof vents are permitted only on the roof plane opposite the STREET FRONTAGE and shall not be visible from a STREET.

b. Solar panels

(1) Approval or denial

- (a) Solar panels and related components shall only be installed if approved as part of the PRELIMINARY PLAT.
- (b) Solar panels shall not be installed prior to the issuance of any permit required by the CITY or other governmental entity with jurisdiction over such installation.

- (c) Nothing in this Ordinance shall be construed as prohibiting the PROPERTY OWNERS ASSOCIATION from denying a request for the installation of solar panels in accordance with the provisions of any recorded restrictive covenants regulating the use and development of the PROPERTY or any portion thereof.
- (2) Installation and color
  - (a) Solar panels shall (i) not project more than six (6) inches above the roof plane, (ii) conform to the slope of the roof, (iii) have a top edge that is parallel to the roofline, and (iv) be laid in a uniform pattern.
  - (b) All viewable frames, brackets, and wiring shall be painted black or to match the color of the roof tiles or shingles in a manner which blends with the color of the roof.
- (3) Maintenance
  - (a) Solar panels must be properly maintained at all times.
  - (b) Non-functioning or inoperable solar panels shall be promptly replaced and/or removed.
- c. Wind driven devices such as windmills generating electricity or used for pumping water are prohibited except to the extent state and/or federal law pre-empts the City from prohibiting the installation of such wind driven devices.

**9. Mechanical, Disposal and Loading Facilities and Equipment**

- a. Mechanical Equipment
  - (1) Ground level transformers, HVAC equipment, lift stations, utility meters, and other machinery shall be located at the rear of the lot where practical (and, in the case of utility-owned facilities and equipment, when authorized by such utility)
  - (2) Roof mounted equipment shall be screened from view from the PUBLIC SPACE.
- b. Solid Waste Collection and Disposal
  - (1) Trash compaction and solid waste collection and disposal shall be incorporated into the overall design of the building and located to the rear of the building unless permitted to be located otherwise by an approved Site Plan.
  - (2) Solid waste facilities including trash compactors shall be screened by a MASONRY wall of a height that is at least one (1) foot above the height of the solid waste facility or trash compactor. Such screening wall shall be built with the same materials as used for the principal building, or an otherwise CITY approved material
  - (3) Access to Solid waste facilities shall be provided by a solid metal gate or door equal in height of the wall and shall remain closed at all times when not being accessed for purpose of disposing solid waste into, or collecting for off-site disposal from, the facility.
  - (4) Garbage bins (not including public sidewalk waste bins) shall not be stored or located where visible from the PUBLIC SPACE.
- c. Service and Loading Areas
  - (1) Loading docks for the general delivery of goods and services, truck parking, and other service functions shall be incorporated into the overall design of the building and located to the rear of the building unless permitted to be located otherwise by an approved PRELIMINARY PLAT.
  - (2) Service equipment and areas shall be screened so the visual impacts of these functions are fully contained and are not located where visible from the PUBLIC SPACE.

## C. Architectural Standards for Single-Family Residential

All SINGLE-FAMILY RESIDENTIAL constructed on the Property shall conform to the following building design and construction standards.

### 1. Architectural Diversity

- a. No combination of the same masonry color, mortar color, and sand color shall be repeated for SINGLE-FAMILY DETACHED RESIDENTIAL buildings located on adjacent lots. SINGLE-FAMILY RESIDENCES shall not repeat the same street facing elevation within five (5) units most directly across the street, nor shall it repeat on two adjacent lots in either direction on the same side of the street.
- b. Hardie-Board, Hardie-Siding and other similar cementitious fiber-board siding materials are treated as Masonry under this PD.
- c. The following list of architectural elements shall be incorporated into FAÇADES of SINGLE-FAMILY DETACHED RESIDENTIAL buildings with a choice of at least three (3) different elements for each home:
  - (1) Balcony
  - (2) Front Porch
  - (3) Chimney
  - (4) Patio courtyard
  - (5) MASONRY, stone, or cast stone accents
  - (6) Hardie-Board Siding Accents
  - (7) Double entry doors
  - (8) Covered entry
  - (9) DORMERS
  - (10) Cedar shutters
  - (11) Natural stone (30% front FAÇADE)
  - (12) 10:12 or greater roof pitch
  - (13) Gables with architecture feature
  - (14) Arch top windows
  - (15) Circle top windows
  - (16) Stained wood columns

### 2. Building FAÇADES

FAÇADE treatments are those portions of a building's STREET FRONTAGE façade elevation extending from the ground to the roof that consists of a single layer or architectural expression.

- a. The horizontal dimension of a wall opening shall not exceed the vertical dimension.
- b. Wall openings shall not span vertically more than one story.
- c. An architectural design that does not conform with the specific requirements of this Section IV, but which has merit by making a positive contribution to the visual environment may be approved as a Special Exception granted as part of the approved SITE PLAN.

### 3. Building FAÇADE Materials

- a. Permitted PRIMARY BUILDING MATERIALS (which must cover not less than 95% of the area of the FAÇADE) shall be:
  - (1) MASONRY/STONE
  - (2) HARDIE BOARD / HARDIE SIDING
  - (3) STUCCO/PLASTER
  - (4) Other PRIMARY BUILDING MATERIALS shall be required to obtain a Special Exception as a part of SITE PLAN approval
- b. ACCENT BUILDING MATERIALS (which may cover no more than 5% of the area of the FAÇADE) may be:
  - (1) Pre-cast masonry (limited trim and cornice elements only)
  - (2) Gypsum reinforced fiber concrete (limited to trim elements only)
  - (3) Metal (limited to roofing, beams, lintels, trim elements and ornamentation only)
  - (4) Split-faced CMU block (but used only for piers, foundation walls and chimneys)
  - (5) EIFS
- c. Building Configurations and Techniques
  - (1) MASONRY/STONE shall be detailed and placed in an appropriate load-bearing configuration.
  - (2) STUCCO/PLASTER shall be smooth or sand only with no roughly textured finish.
  - (3) Wood simulation materials (such as Hardie-Plank™) shall be configured as horizontal lap siding except where used for trim, soffits, fascia, or similar architectural elements.

### 4. Building Windows

Windows shall conform to the following:

- a. Window Materials
  - (1) Specialty windows such as stained, opalescent, or glass block shall be permitted in limited amounts but in no case greater than fifteen (15) percent of the total window area of the FAÇADE unless approved as a SPECIAL EXCEPTION granted as part of a PRELIMINARY PLAT.
  - (2) Windows shall be trimmed in a style to match the architecture or be recessed. Windows shall not be flush with the exterior wall treatment unless specifically approved by the City during permit review.
  - (3) Window screens shall be black or gray.
  - (4) Solar screens are permitted only on FAÇADES not visible from the PUBLIC SPACE.
- b. Window Configurations
  - (1) The horizontal dimension of the window opening shall not exceed the vertical dimension except as provided in subparagraph b.(2), below.
  - (2) A maximum of five (5) windows may be mulled horizontally together to form a compound window which may be wider than it is tall if each grouping is separated by a mullion, column, pier or wall section that is not less than seven (7) inches wide.
  - (3) Windows shall be vertical in proportion by a ratio of 1.25:1 or more (height to width).

## 5. Building Roofs and Parapets

Roofs and PARAPETS set forth in this Paragraph 5 are designed to encourage developers to demonstrate common sense recognition of the City's climate by utilizing appropriate pitch, drainage, and materials when designing buildings within PD-2021-\_\_ in order to provide visual coherence.

### a. Permitted Roof Materials

#### (1) Authorized Materials

- (a) 30-year dimensional shingles.
- (b) Tile, clay or concrete (faux clay).
- (c) Slate (equivalent synthetic or better).
- (d) Metal on porches and accent roofs.
- (e) Roofing material for flat roofs shall be monolithic Thermoplastic Polydefin (TPO) membrane or equivalent determined by Building Official.
- (f) Cornices and soffits may be a combination of wood, metal, and Hardie-Plank™ equivalent or better soffit.

(2) Roofing materials shall have a minimum 30-year rated warranty.

(3) Any roofing material not authorized by this Subparagraph a. is expressly prohibited.

### b. Roofs, Dormers and Chimneys

(1) DORMERS and chimney chases above the roof structure shall be finished with a permitted PRIMARY BUILDING MATERIAL or a siding material of Hardie-Plank™ equivalent

(2) Fireplace flues shall be enclosed and finished to be complimentary of the building's exterior. Finished construction that provides for an exposed pre-fabricated metal flue piping (other than gas appliance vent stacks required by applicable construction codes) is prohibited

## 6. Skylights, Solar Panels, Roof Vents and Wind Driven Devices

a. Skylights, solar panels and roof vents are permitted only on the roof plane opposite the STREET FRONTAGE and shall not be visible from a STREET.

### b. Solar panels

#### (1) Approval or denial

- (a) Solar panels shall not be installed prior to the issuance of any permit required by the CITY or other governmental entity with jurisdiction over such installation.
- (b) Nothing in this Ordinance shall be construed as prohibiting the PROPERTY OWNERS ASSOCIATION from denying a request for the installation of solar panels in accordance with the provisions of any recorded restrictive covenants regulating the use and development of the PROPERTY or any portion thereof.

#### (2) Installation and color

- (a) Solar panels shall (i) not project more than six (6) inches above the roof plane, (ii) conform to the slope of the roof, (iii) have a top edge that is parallel to the roofline, and (iv) be laid in a uniform pattern.
- (b) All viewable frames, brackets, and wiring shall be painted black or to match the color of the roof tiles or shingles in a manner which blends with the color of the roof.

#### (3) Maintenance

- (a) Solar panels must be properly maintained at all times.
- (b) Non-functioning or inoperable solar panels shall be promptly replaced and/or removed by the property owners.
- c. Wind driven devices such as windmills generating electricity or for pumping water are prohibited except to the extent state and/or federal law pre-empts the City from prohibiting the installation of such wind driven devices.

**7. Mailboxes**

- a. Mailboxes shall be provided as directed by the local office of the United States Postal Service (USPS) and in accordance with the approved PRELIMINARY PLAT, SINGLE FAMILY DETACHED RESIDENTIAL may install individual mail boxes which shall be located on the front of the lot between the sidewalk and the curb, with approval of the USPS;
- b. ATTACHED RESIDENTIAL shall utilize cluster mailboxes approved by the United States Postal Services.
- c. Mailbox materials shall be consistent throughout the development and constructed of decorative metal or masonry generally consistent with the materials of the building(s) located on the lot where the mailbox is located.

**8. Mechanical Equipment**

- a. Ground level transformers, HVAC equipment, lift stations, utility meters, and other machinery shall be located at the side or rear of the lot where practical (and, in the case of utility-owned facilities and equipment, when authorized by such utility).
- b. Roof mounted equipment shall be screened from view from the PUBLIC SPACE.

## V. Lighting, Parking and Signage Standards

### A. Principles and Intent

The LIGHTING, PARKING AND SIGNAGE STANDARDS set forth in this Section V are intended to ensure the coherence of the development and to assist property owners with understanding the relationship between the PUBLIC SPACE and their own lots. These standards are also intended to establish an environment that encourages and facilitates pedestrian activity and enjoyment of PUBLIC SPACES.

- Lighting, both within PUBLIC SPACES and private lots, is a strong amenity and as well as safety feature.
- Adequate parking, conveniently located and appropriately designed is an essential element of a successful and enjoyable community that offers a mix of residential, office and retail establishments and services.
- Signage appropriately located and tastefully executed is an asset for COMMERCE activities while ensuring compatibility with nearby residential communities.

### B. Lighting

The Property shall be developed with lighting in accordance with the following standards:

#### 1. PARKWAY Lights

- a. STREET LIGHTS must be located within the PARKWAY spaced a maximum of one-hundred and fifty (150) feet on center per BLOCK.
- b. Standards
  - (1) Materials and equipment chosen for lighting fixtures must be durable and weather well.
  - (2) Lighting standards for STREETS shall meet the City's minimum standards, with the design criteria giving equal weight to the lighting of the pedestrian areas and the vehicle areas.
  - (3) STREET LIGHTS shall not cast a perceptively unnatural spectrum of light (such as low pressure sodium) or project light skyward (dark sky friendly lighting).

#### 2. COMMERCE Building and Site Lighting

- a. An exterior Lighting Plan shall be approved as part of the PRELIMINARY PLAT.
- b. Front FAÇADE building lighting shall be mounted not less than six (6) feet nor higher than fourteen (14) feet above the adjacent grade.
- c. Lighting Standards
  - (1) Site lighting shall be of a design, height and location so as to illuminate only the lot on which the light fixture is located unless illumination across lot lines is by a lighting fixture is authorized by the approved lighting plan included in the approved PRELIMINARY PLAT.
  - (2) Lighting elements shall not cast a clearly/perceptively unnatural spectrum of light (such as low pressure sodium). Lighting elements shall be limited to incandescent, metal halide, or halogen type fixtures.
  - (3) No heavy intensity discharge (HID) or fluorescent lights (except compact fluorescent bulbs that screw into standard sockets) shall be used on the exterior of buildings.
- d. Flood Lights
  - (1) Floodlights or directional lights may be used to illuminate ALLEYS, parking garages and maintenance areas, but must be shielded or aimed in such a way that they do not shine into other lots, STREET FRONTAGES, or direct light up toward the sky.

- (2) Floodlighting to illuminate non-residential building walls shall be approved as a part of the approved PRELIMINARY PLAT.

## C. Parking

### 1. Parking Standards

#### a. SINGLE-FAMILY RESIDENTIAL

- (1) A minimum of two (2) garage parking spaces per SINGLE-FAMILY RESIDENTIAL dwelling shall be provided and shall remain usable for parking of two (2) passenger vehicles.
- (2) Where building footprints allow, SINGLE-FAMILY RESIDENTIAL dwellings shall provide two (2) additional parking spaces onsite within the paved driveway area.

#### b. MULTI-FAMILY RESIDENTIAL

- (1) A minimum of 1.6 parking spaces per MULTI-FAMILY RESIDENTIAL unit shall be provided.

#### c. COMMERCE

- (1) Required parking ratios for COMMERCE uses shall be:
  - (a) Office – 1 space per 300 square foot
  - (b) Retail – 1 space per 250 square foot
  - (c) Restaurant – 1 space per 150 square foot (including patios)

#### d. Shared Parking

- (1) In the case of mixed uses, two (2) or more uses may share the same parking spaces during alternating periods of time if approved as part of the PRELIMINARY PLAT, provided, however, no certificate of occupancy for any completed space shall be issued by the City for any building or portion of a building using such shared spaces until an easement granting perpetual access and shared parking rights approved as to form by the City Attorney has been executed by the owners of all property that will use such shared spaces and recorded in the Official Public Records of Denton County, Texas. Such access and shared parking easement must include provisions that prohibit the reduction or relocation of parking spaces or the partial or complete termination of the easement without the prior approval of the City Council.
- (2) No more than fifty percent (50%) of the parking spaces required for a theater or other place of evening entertainment whose peak hours of operation are generally after 6:00 P.M., or for a auditorium, stadium, school, place of worship, or similar public assembly use, may be shared jointly with COMMERCE uses which are not open after 6:00 P.M. or otherwise open during the same hours as the public assembly use will be occurring. Prior to commencement of shared parking pursuant to this subparagraph d.(2), the owners of the properties affected shall executed an easement that conforms to the easement required by subparagraph d.(1), above, except that such easement (i) may limit the use to the agreed off-setting days and times and (ii) may terminate without the consent of the City Council if the public assembly use ceases operations and does not use the shared parking spaces for a period of 180 consecutive days.

### 2. On-Street Parking

- a. On-street parking spaces shall not exceed five (5) parallel parking spaces or twelve (12) head-in parking spaces without the provision of a landscaped curb bump-out as provided below:
  - (1) The bump-out shall be eight (8) feet deep and five (5) feet wide.

- (2) The limitation of no more than five (5) parallel parking spaces or twelve (12) head-in parking spaces without a bump-out may be increased to six (6) parallel spaces or thirteen (13) head-in spaces if there remains only room for one (1) additional parking space.
- b. On-street parking may be counted towards meeting off-street parking requirements as authorized by the approved PRELIMINARY PLAT.
- c. On-street surface parking spaces may encroach along the edges of designated PARK/OPEN SPACE to allow for public parking for PARK/OPEN SPACE users.
- d. On-street parking shall be eight (8) feet in depth and twenty-two (22) feet length.

## D. Signage

Signs placed on the Property shall comply with this Subsection D in addition to the provisions of Chapter 62 of the Code of Ordinances, as amended and the CZO:

### 1. Signage Plan

- a. COMMERCE signage shall include signs that are pedestrian in scale and located so as to be legible from PEDESTRIAN PATHWAYS.
- b. COMMERCE Signage to include one (1), 400 square foot (approximately 20'x20') or less, LED sign shall be permitted to be located at or near the primary entry to Stephens Towne Crossing along Indian Lane.
- c. COMMERCE signs may project from the building FAÇADE up to three (3) feet provided not less than ten (10) feet of vertical clearance below the lowest portion of such sign is maintained at all times.
- d. COMMERCE directory signs, the location of which are shown on the approved Preliminary Plat may be provided to help direct people to different on-site businesses and services.
- e. Lettering on AWNINGS and CANOPIES shall be limited to six (6) inches tall located only on vertically hanging fabric at curbside of AWNING.

## VI. Landscaping and Park/Open Space Standards

### A. Principles and Intent

The standards and criteria contained in this LANDSCAPING and PARK/OPEN SPACE STANDARDS section are the minimum standards for all new development. Where regulations of this Section VI conflict with those of the CZO, the greater standard shall apply. General principles are:

- Encourage the use of native and low water demand plants and low maintenance
- Encourage adequate treatment of soils where vegetation is proposed
- Encourage the alternation of ground covers and minimize turf areas
- Locate development in proximity to PARK/OPEN SPACE, PEDESTRIAN PATHWAYS and TRAILS.

### B. Landscaping

#### 1. Landscaping – Trees

##### a. SINGLE-FAMILY RESIDENTIAL

##### (1) General

- (a) Required FRONT YARD TREES shall be based upon lot width as measured at the required front setback line.
- (b) Required FRONT YARD TREES shall be at least three (3) inches in diameter measured four (4) feet above grade and not less than ten (10) feet in height measured from the base of the main trunk showing at grade at time of planting.

##### (2) Required Trees

- (a) No fewer than two (2) FRONT YARD TREES and no fewer than four (4) five (5) gallon shrubs shall be planted on lot with widths of fifty (50) feet or greater.
- (b) No fewer than one (1) FRONT YARD TREE and no fewer than three (3) five (5) gallon shrubs shall be planted on lots with widths of forty (40) feet or greater but less than fifty (50) feet wide.
- (c) No fewer than one (1) FRONT YARD TREE and no fewer than two (2) five (5) gallon shrubs shall be planted on lots with widths of less than forty (40) feet.

#### 2. Landscaping – Yards

- a. All unpaved ground area shall be planted with turf grass, vegetative groundcover, or flowering vegetation.
- b. Decorative rocks shall be permitted in limited amounts and within areas between structures where plant material is difficult to maintain.
- c. SINGLE-FAMILY RESIDENTIAL lots shall have full sod installed within any portion of the yard area not covered by walkways, driveways, trees, shrubbery, ground cover or planting beds, or other approved landscape materials.
- d. All turf grass must be solidly sodded at installation unless a Drought Condition has been recognized by City of Sanger Authorities. Seeding, sprigging, or plugging of turf grass at time of initial installation is prohibited.

#### 3. Landscaping – Parking Lots

- a. Five (5) linear feet of landscaped evergreen screening at a height of three (3) feet shall be planted between the STREET right-of-way and the parking lot where a parking lot faces a STREET.

- b. The following interior landscaping shall be planted in off-street, surface parking that contains twenty (20) or more parking spaces:
  - (1) Twenty (20) square feet of landscaping for each parking space shall be installed within the paved boundaries of the parking area;
  - (2) Landscaped islands shall be located at the ends of all parking rows and one (1) landscaped island shall be provided for each twenty (20) parking spaces in a parking row. The location the landscape islands within parking areas shall be as shown on the approved site plan for each development parcel. No fewer than one (1) three-inch (3) caliper tree shall be planted in each parking island. Tree caliper shall be measured at four (4) feet above grade and tree height shall be measured from the root flair to the top of the primary leader.
  - (3) Landscaped islands shall be a minimum of six (6) feet wide, not less than ninety percent (90%) of the abutting parking space in length. All landscape islands shall be planted with an approved ground cover.
  - (4) Landscape islands shall be protected by a raised six (6) inch concrete curb with pavement placed no closer than three (3) feet from the trunk of a tree if no CITY-approved root barrier has been installed.
  - (5) Careful consideration will be given to pedestrian circulation within the parking areas. Consideration of special paving accents should be given to highlight pedestrian routes.

#### 4. Landscaping – Fences/Walls and Street Furniture

##### a. Fences/Walls – General

- (1) Metal fencing shall be ornamental iron, tubular steel or similar material with a consistent design and finished in black.
- (2) MASONRY walls shall be constructed with MASONRY compatible with adjacent buildings.
- (3) Wood fencing at locations other the side lot or rear lot lines of interior lots shall be board-on-board with capping, pre-stained cedar, with steel posts in a color approved as part of the PRELIMINARY PLAT.
- (4) Fences and walls exceeding eight (8) feet in height are prohibited except to screen service areas of COMMERCE and MULTI-FAMILY RESIDENTIAL.
- (5) Fences and walls shall be located outside the public right-of-way and located within a maintenance easement under the responsibility of the PROPERTY/HOMEOWNER ASSOCIATION or the individual property owner.

##### b. Walls and Fencing – MAJOR STREETS

- (1) Board-on-Board Wood Fencing with Metal posts not exceeding eight (8) feet in height shall be required along MAJOR STREETS
- (2) MASONRY walls used as accent panels may include decorative metal fencing of a similar height inserted at intervals no more often than one hundred and fifty (150) feet unless a different design is approved as part of the PRELIMINARY PLAT.

##### c. Fences/Walls – RESIDENTIAL

- (1) No fence or wall shall be permitted within front yards except on corner lots, wherein approved ornamental iron fences, not exceeding five (5) feet in height, may be installed within the front yard not serving as the main entry point to the dwelling (i.e. the side yard along the STREET).
- (2) All fences and walls installed within five (5) feet of an ALLEY may be ornamental iron or board-on-board wood fencing not exceeding eight (8) feet in height.
- (3) All RESIDENTIAL lots which back or side onto a PARK/OPEN SPACE, shall install ornamental metal fencing on the side of the lot facing the PARK/OPEN SPACE.

- (4) Fences and walls consisting of materials or placed in locations not otherwise authorized by Subparagraph c., may be approved as a SPECIAL EXCEPTION with SITE PLAN review.

d. Site Furnishings

- (1) Site furnishings may include seating, planters, trash receptacles, streetlights, street signs, wayfinding signs, media boxes, public art, and water features.
- (2) Site furnishings installed within PARK/OPEN SPACE and rights-of-way shall be consistent in design and materials as set forth in the developer's design guidelines.

**5. Landscaping – Irrigation**

- a. Permanent automatic irrigation systems shall be designed, installed, and operated in accordance with applicable City ordinances related to landscape irrigation systems shall be installed to irrigate required landscaping.
- b. Rainwater Harvesting Systems: In addition to other applicable City ordinances that may be in effect or adopted from time to time, the installation and operation of a rainwater harvesting system shall comply with the following:
  - (1) The location of rain barrels or rainwater harvesting systems and related components must not be visible from the public right-of-way on residential lots.
  - (2) Rain barrels shall be located within the side or rear yards of residential spaces and in a manner not visible from the public right-of-way or from other PUBLIC SPACES.
  - (3) Rain barrels shall be of color that is consistent with the color scheme of the primary structure and may not contain any text or image not typically displayed on such rain barrels, as manufactured.
  - (4) Rain barrels must be covered and properly maintained at all times or removed by the owner.

**6. Landscaping – Maintenance**

- a. The record owner of a lot shall be responsible for maintaining the portion of the PUBLIC SPACE between the lot line(s) and the back of the curb and any portion of the ALLEY abutting the lot.
- b. The record owner of a lot shall be responsible for watering, maintaining and preserving in a growing healthy condition all landscaping located on said owner's lot. This shall include, but may not be limited to trees, shrubs, planting beds, and groundcover located on the lot and includes PARK/OPEN SPACE within the lot.
- c. The record owner of a lot shall promptly replace dead trees and/or plant materials no later than sixty (60) days after written notification from the City to replace such trees and/or plant materials.
- d. Trees shall be maintained to provide a seven (7) foot clearance over PEDESTRIAN PATHWAYS and a fourteen (14) foot clearance over on-street drive and parking lanes. The foliage of newly planted trees may intrude into this area until the tree has sufficient growth to allow such a clear trunk height.
- e. Shrubbery shall be maintained to keep a clear view between three (3) feet and eight (8) feet above grade and to prevent encroachment into PEDESTRIAN PATHWAYS or the STREET.
- f. No trees or landscape materials shall be planted in a manner that creates a visibility obstruction at intersections and driveways in violation of any City ordinance.
- g. Nothing in this Paragraph 7 shall be construed as prohibiting a PROPERTY/HOMEOWNER ASSOCIATION from maintaining any landscaping or irrigation system for the record owner of a lot, whether pursuant to terms of an agreement between the lot owner and the PROPERTY/HOMEOWNER ASSOCIATION or pursuant to the PROPERTY/HOMEOWNER ASSOCIATION's obligations set forth in any recorded covenants to which said lot is subject. Notwithstanding the foregoing, the record owner of the lot shall at all times be obligated to comply with this Paragraph 7.

- h. At no time shall the landscaping located on any lot within the Property be reduced to less than the minimum required by the Subsection B or that which is required by an approved Landscape Plan.

**7. Landscaping – Approved Tree and Shrub Species**

- a. The following list of trees and shrubs shall be the only species which may be used for plantings within the Property. Species of trees and shrubs, presented as part of the required LANDSCAPE PLAN may deviate from the list of approved plant materials as shown below with approval of CITY STAFF. Proposed materials may not include noxious or invasive species as defined by the State of Texas, the United States Department of Agriculture, or other regulatory agencies.

(1) SHADE & ORNAMENTAL TREES

- (a) *Quercus shumardi* (Shumard Oak – specified where grown to avoid Pin Oak)
- (b) *Quercus buckleyi* (Texas Red Oak)
- (c) *Quercus muhlenbergii* (Chinquapin Oak)
- (d) *Quercus Macrocarpa* (Bur Oak)
- (e) *Quercus virginia* (Live Oak)
- (f) *Ulmus parvifolia* (Lacebark Elm and other varieties)
- (g) *Fraxinus albicans* (Texas Ash)
- (h) *Gleditsia triacanthos* var. *Inermis* (Thornless Honey Locust)
- (i) *Pistacia chinensis* (Chinese Pistache, male only)
- (j) *Taxodium distichum* (Bald Cypress)
- (k) *Cercis canadensis* var. *texensis* (Texas redbud)
- (l) *Cercis reniformis* (Oklahoma Redbud)
- (m) *Lagerstroemia indica* var. (Crepe Myrtle)
- (n) *Vitex angus-castus* (Vitex or Chaste Tree)
- (o) *Ilex decidua* (Possumhaw)
- (p) *Ilex vomitoria* (Yaupon Holly)

(2) LARGE TREES FOR PUBLIC SPACES

- (a) *Carya illinoensis* (Pecan)
- (b) *Quercus Macrocarpa* (Bur Oak)
- (c) *Taxodium ascendens* (Pond Cypress)
- (d) *Magnolia Grandiflora* (Magnolia)

(3) Trees and shrubs along masonry walls between neighborhoods and streets

- (a) *Juniperus* sp.
- (b) *Ilex* sp.
- (c) *Viburnum* sp.

(4) Shrubs

- (a) *Abelia* sp.
- (b) *Rhus aromatica* (Aromatic Sumac)
- (c) *Raphiolepis indica* (Indian Hawthorn)
- (d) *Ilex cornuta* 'Burfordii Nana' (Dwarf Burford Holly)
- (e) *Ilex vomitoria* 'Nana' (Dwarf Yaupon Holly)
- (f) *Buxus* sp.
- (g) *Leucophyllum frutescens* var. (Texas Sage)
- (h) *Hibiscus* sp.
- (i) Dwarf Crape Myrtle
- (j) Flowering Quince

- (k) Nandina
- (l) Berberis sp.
- (m) Juniperus sp.
- (n) Yucca recurvifolia (Soft-leaf Yucca)
- (o) Yucca rupicola (Twist-leaf Yucca)
- (5) Groundcovers, perennials and other recommended plants
  - (a) Native and hardy introduced perennials
  - (b) Native and hardy introduced ornamental grasses
  - (c) Liriope sp.
  - (d) Ophiopogon japonicus
  - (e) Asian Jasmine
  - (f) Winter Creeper
  - (g) Cross Vine
- (6) Prohibited plants
  - (a) Bradford Pears
  - (b) Leyland Cypress

**8. Landscaping – Completion**

No certificate of occupancy for any building on any lot may be issued until all required irrigation systems, trees and other plant materials required by this Subsection B. have been installed and/or planted on the lot unless, because of on-going drought conditions the City has implemented water conservation measures that restrict the watering of new plant materials, the City Manager or designee authorizes a delay in the planting of new landscape materials, in which case, a certificate of occupancy may be issued. In the event of such authorized delay, all landscape materials shall be planted not later than the date provided in the authorization. Failure to install all landscaping by the date set forth in the delay authorization shall be a violation of this Ordinance.

**C. Park/Open Space**

**1. Available PARK/OPEN SPACE and other recreation amenities**

The table below summarizes the area to be allocated to PARK/OPEN SPACE, TRAILS and other Recreation amenities within PD-2021-\_\_\_, the general location of which are depicted on **Appendix G – Parks, Open Space, Trails, and Other Recreation Facilities Map**.

**Park/Open Space, Trails and Other Recreation Facilities and Planned Development**

| Category   | Type                          | Acres            |
|--|-------------------------------|------------------|
| <b>Parks, Recreation Facilities &amp; Open Space</b> |                               |                  |
|  | Parks + Open Space            | 46.94            |
|  | Amenity Center(s)             | 5.25             |
|  | Flood Plain + Open Space      | 23.68            |
|  | Multi-Family Open Space (10%) | 1.5              |
| <b>TOTAL ACRES</b>                                   |                               | <b>77.37</b>     |
| <b>Recreational Trails &amp; Pedestrian Pathways</b> | <b>Approx. Linear Feet</b>    | <b>18,000 LF</b> |

**2. PARK/OPEN SPACE – COMMERCE and MULTI-FAMILY RESIDENTIAL**

- a. COMMERCE uses shall not be required to set aside a percentage of lot area for PARK/OPEN SPACE. Development devoted to COMMERCE uses are encouraged to create outdoor areas that enhance the pedestrian experience through conveniently located informal seating areas, PLAZAS and COURTYARDS.
- b. MULTI-FAMILY RESIDENTIAL shall allocated and develop not less than ten percent (10%) of the lot(s) on which the development is to be constructed to PARK/OPEN SPACE
  - (1) Landscaped parking areas, walkways, yards and entries shall be considered PARK/OPEN SPACE.
  - (2) Areas designated as PARK/OPEN SPACE shall be shown on the approved PRELIMINARY PLAT and if applicable, the Plat.
- c. PARK/OPEN SPACE shall be maintained by the PROPERTY / HOMEOWNER ASSOCIATION or individual property owner.

**3. PARK/OPEN SPACE – SINGLE-FAMILY RESIDENTIAL**

- a. The percentage of available PARK/OPEN SPACE for SINGLE-FAMILY RESIDENTIAL shall be based on the aggregate acreage of PARK/OPEN SPACE available throughout PD-2021-\_\_, excluding acreage contained within MULTI-FAMILY RESIDENTIAL or part of a non-RESIDENTIAL use.
- b. Areas designated as PARK/OPEN SPACE shall be shown on all approved PRELIMINARY PLATS.
- c. PARK/OPEN SPACE shall be maintained by the PROPERTY/HOMEOWNER ASSOCIATION.

**4. RECREATIONAL TRAILS and PEDESTRIAN PATHWAYS**

- a. RECREATIONAL TRAILS
  - (1) TRAILS shall be provided along one side of MAJOR STREETS as shown in **Appendix F – Parks, Open Space and Trails Map** and as illustrated here.
  - (2) TRAILS shall be not less than six (6) feet nor greater than eight (8) feet wide along MAJOR STREETS and six (6) feet in width in other locations.
- b. PEDESTRIAN PATHWAYS
  - (1) PEDESTRIAN PATHWAYS shall be six (6) feet in width on MAJOR STREETS and five (5) feet in width on MINOR STREETS.
  - (2) PEDESTRIAN PATHWAYS shall be installed at all required locations on a lot prior to issuance of a certificate of occupancy of the first building constructed on the lot or, if the issuance of a certificate of occupancy is required, the commencement of the provision of utilities to any building on the lot..
- c. TRAILS and PEDESTRIAN PATHWAYS shall be constructed of concrete in accordance with applicable CITY ordinances and/or specifications.

**5. AMENITY PROGRAM:**

- a. General – As a master planned community, Stephens Towne Crossing will have a programmed and controlled system of amenities throughout the development. These amenities will link the tracts of land providing a cohesive set of amenities that will connect the various pods of the development. Community amenities are anticipated to include, but may not be limited to the following:
  - Open Space
  - Hike and Bike Trails
  - Neighborhood Parks

- Pocket Parks
- Thoroughfare Landscape Buffers
- Community Amenity Center
- Floodplain / Native Grass-Land Areas
- Primary Community Entries
- Secondary Community Entries
- Neighborhood Entries

b. STC Community Amenity Centers Stephens Town Crossing Community Center(s)

1. A minimum of two (2) Community Amenity Centers shall be developed within Stephens Towne Crossing providing a range of more active, family-oriented activities in a 'resort' style environment (see representative examples below). One Facility to be constructed in Sections IA and IB, and the other Facility to be constructed in Sections IIIA and IIIB.
  - a. These facilities will be private, designated for the use of property owners and their guests.
  - b. Maintenance of the Centers will be provided by the Homeowner's Association (HOA) for each community.
  - c. This facility will be centrally located along the main neighborhood road with linkage to the community's open space and trail system.
  - d. The intended Community Amenity Program shall include elements from the following list:
    - Active adult and children's pools;
    - Paved and grass chaise areas;
    - Restrooms;
    - Covered picnic pavilion;
    - Convenience parking (quantity to be determined based upon code compliance);
    - Children's playground facility(s);
    - Trailhead linkages to the floodplain / greenway parks.

Example Images (for Illustrative Purposes Only)



c. Open Space and Trails

1. Open spaces shall be internal to the Planned Development will include, but not limited to, neighborhood pocket parks and passive recreational uses. These open spaces are intended as smaller linking elements designed to tie together the overall theme of the community. These spaces will be owned and maintained by the HOMEOWNER Association (HOA), and will allow for:
  - Valuable open space adjacent to residences
  - The creation of additional passive and moderately active recreational opportunities, including:
    - open play areas;
    - neighborhood playgrounds;
    - small neighborhood gathering spaces.
2. The minimum amount of open space shall be ±30 acres for the entire Planned Development site including flood plain areas as a central open space amenity.
3. Open spaces shall include pocket parks, neighborhood parks, landscape buffers, neighborhood and retail amenity center areas, native greenbelts, and flood plain corridors through the property.

4. Existing and proposed utility easements, drainage easements and/or detention ponds shall be permitted in the calculation of common open space areas.
5. These areas will be enhanced with landscaping and could potentially include additional water features, such as ponds and fountains that contribute to the overall storm drainage system and provide enhanced value to the community. These corridors shall be interconnected with a series of open spaces, landscape buffers, and trails. Following are the key components of this system of open space through the community:
  - Paths and trails – a minimum 6' in width will be constructed of concrete or other material approved by the City – linking all neighborhoods, schools and amenities;
  - Native preservation areas in locations of most desirable existing vegetation;
  - Trailhead locations at community amenity sites.
6. Where a single-loaded or no-loaded road is adjacent to open space a 6-foot pathway located on the open space side of the road shall replace the required 4-foot sidewalks on both sides of the road.
7. A 6-foot meandering sidewalk, located on one side of Indian Lane, shall replace the required 4-foot sidewalk located on both sides of the collector road.
8. Open spaces shall be owned and maintained by a combination of a HOMEOWNER Association (HOA) and/or a Property Owners Association (POA).

## VII. Street Standards

### A. Principles and Intent

The STREET STANDARDS contained in this Section VII establish the minimum rights-of-way, lane and parkway widths, RECREATIONAL TRAIL and PEDESTRIAN PATHWAY locations and widths and embody the following principles and intent:

- Balance the needs of all forms of vehicular and pedestrian traffic to maximize mobility and convenience while minimizing conflicts between pedestrians and automobiles.
- Create attractive, pedestrian-friendly streets for the enjoyment of residents, employers, employees and visitors.

### B. Existing Streets and Modifications

- a. Existing STREETS – STREETS existing on the effective date of this ORDINANCE that are not consistent with the STREET TYPE cross sections shall not be required to be reconstructed to conform to the requirements of this Section VII; provided, however upon development of property abutting an existing STREET, the improvements as shown in the STREET TYPE cross section of this ORDINANCE shall be installed.
- b. STREET TYPE Modifications – Minor modifications to specific STREET TYPE cross sections contained within this ORDINANCE may be approved by the Director of Community Services and the City Engineer if necessary to accommodate or respond to specific conditions once engineering design of STREET improvements is underway. The modifications shall be the minimum necessary to address a specific situation or circumstance and shall not alter the general layout of the STREETS as depicted on approved PRELIMINARY PLAT related to the portion of the Property where the subject STREET is located.

### C. Entries

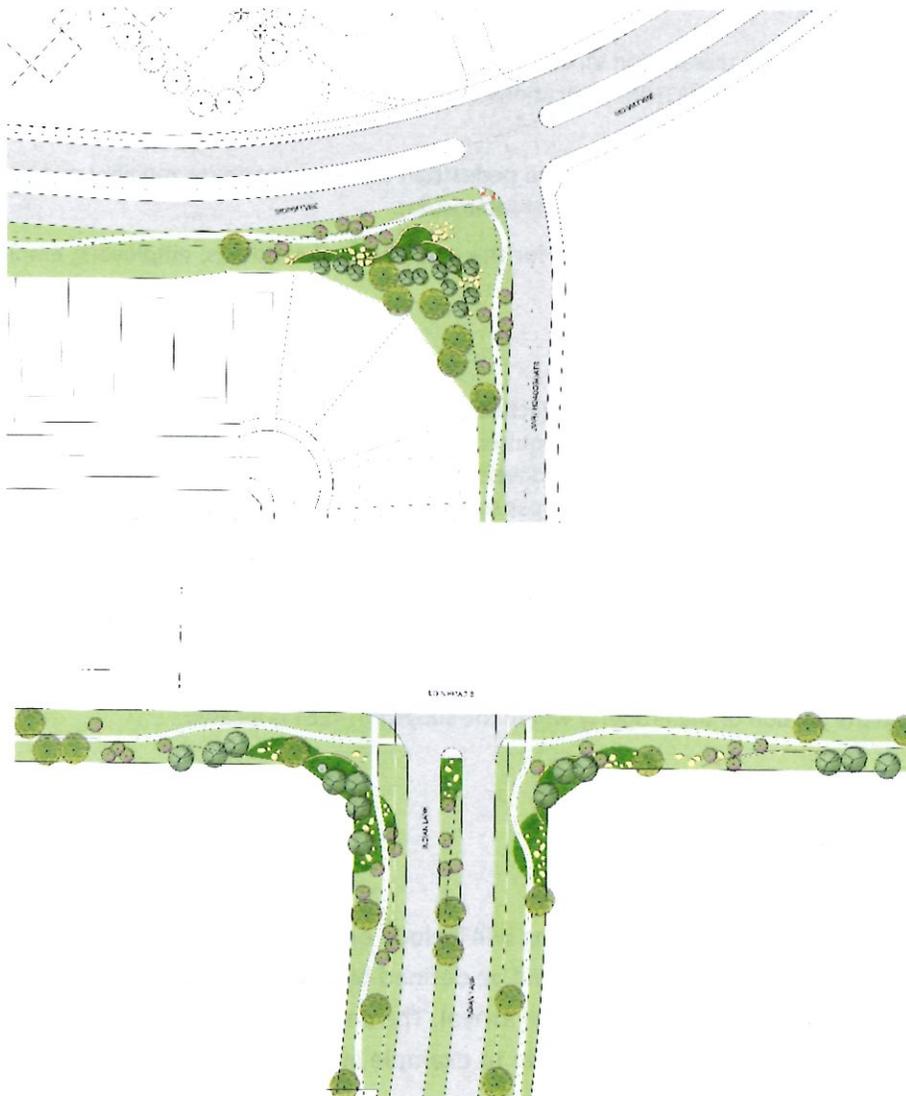
#### 1. Primary Community Entries

Major points of entry into Stephens Towne Crossing will include one (1) entry point along Indian Lane and one (1) along Lois Road. These major entries will be defined by a combination of monumentation, signage, landscape, and lighting to create a sense of arrival. The design will be proportionate in scale and character with the master planned community (refer to example imagery below). These entries will include:

- Community name / logo incorporated into a monument signage element, to be constructed of masonry or similar material
- Enhanced landscape including shrubs, groundcover, perennials, and unique combinations of both canopy and ornamental trees
- Enhanced lighting on the monument / signage and the unique aspects of the landscape.

Primary entries will be developed to incorporate both sides of the entry when both are contained within Stephens Towne Crossing. The enhancements will also include median treatments in the immediate area (where / if applicable). Landscape easements will be provided to ensure adequate space and to accommodate visibility triangles.

*Example Images (for Illustrative Purposes Only)*



2. Secondary Entries

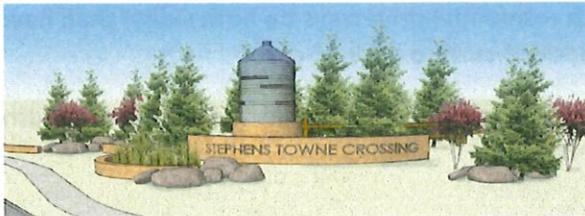
- Secondary Entries into the development will be similar in character to primary entries in their use of materials but will be smaller in scale. They will occur at the entries for either arterials or collectors into the community. It is anticipated that a minimum of two (2) secondary entries will be provided for the community, primarily along Lois Road. Secondary community entries will include the following elements, scaled slightly smaller than the primary entries:

- Community name / logo incorporated into monument signage element, to be constructed of masonry or similar material
- Enhanced landscape, shrubs, groundcover, perennials, and unique combinations of both canopy and ornamental trees
- Enhanced lighting on the monument / signage and the unique aspects of the landscape
- Landscape easements where required to accommodate enhanced landscape and monument construction.

## 2. Neighborhood / Village Entries

- Neighborhood / Village Entries will be internal to Stephens Towne Crossing and along the Indian Lane collector. Points of intersection will be enhanced to identify entrances to individual 'villages' or neighborhoods. These entry features will resemble primary and secondary entries in their character but will also incorporate village or neighborhood names and will contribute to a unique, community-wide system of visual "way finding."

*Example Images (for Illustrative Purposes Only)*



## D. Screening and Buffering

- A minimum 10-foot landscape buffer shall parallel Farm to Market Road 455 (FM 455).
- A minimum 10-foot landscape buffer shall parallel Lois Road.
- A minimum 10-foot landscape buffer shall parallel Indian Lane thru the Planned Development.
- A minimum 10-foot landscape buffer shall parallel Bridal Path Lane as it connects thru the Planned Development to Indian Lane.
- A minimum 10-foot landscape buffer platted as an HOA-owned X-Lot shall parallel the G.C. & S.F. Rail Road.
  - Landscape enhancements such as, but not limited to, berms and planting are permitted within the buffer.
  - The 10-foot buffer shall parallel the G.C. & S.F. Rail Road adjacent to proposed Rights-of-Way paralleling the rail road.
- A 6-foot high wood screening fence with metal posts shall parallel Lois Road, to be installed by the developer.

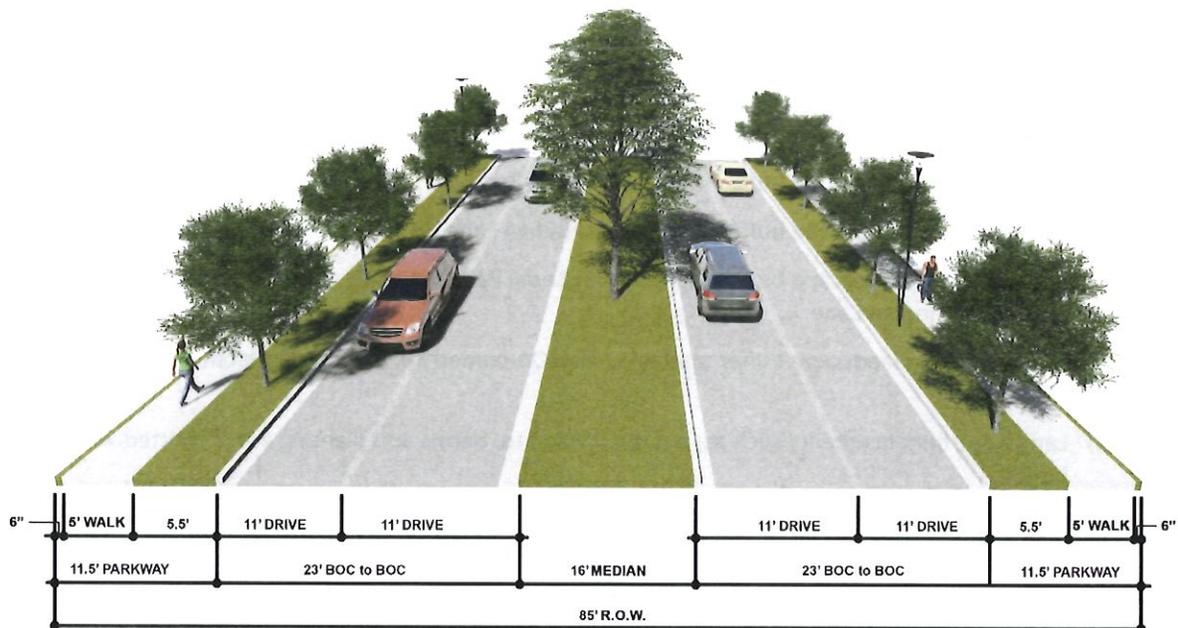
- g. A 6-foot high wood screening fence with cap and metal posts shall parallel the G.C. & S.F. Rail Road for those lots backing to the rail road, to be installed by the builder, with each home.
- h. A 6-foot high screening fence with cap and metal posts shall parallel Indian Lane for those lots siding and/or backing to the collector road, to be installed by the developer.
- i. A 6-foot high screening fence with cap and metal posts shall parallel those lots backing to Bridal Path Lane, to be installed by the developer.
- j. Screening between residential and non-residential uses when uses are immediately adjacent to one another and not separated by a road shall have a 6-foot high screening fence with cap and metal posts.
- k. Buffering between residential and non-residential uses when uses are immediately adjacent to one another and not separated by a road shall have a minimum 20' building setback from the screening wall and shall be located on non-residential tract.

**E. Street Type Cross Sections**

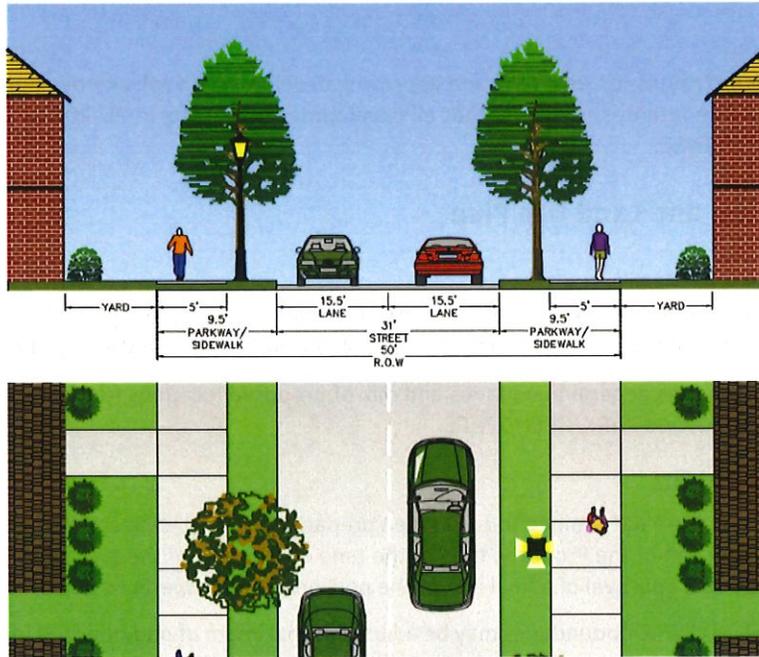
a. STREET TYPE Cross Section – Illustrated below are the typical STREET TYPE cross sections depicting lane and parkway widths, treatment of on-street parking, TRAILS and PEDESTRIAN PATHWAYS. These illustrations are also contained in the **Appendix G – Street Classification Map**.

1. **Collector Road shall be two-22' sections with a 15' planted median at the entrances to the development and within Commerce Subareas. Through the Residential Subareas, the Collector Road shall be 37' back-to-back with 24' parkway on either side.**
2. **Double loaded residential streets (street with residential driveways on both sides) shall have a pavement width of 31 feet measured from back-of-curb to back-of-curb.**
3. **Single-load and no-load residential streets shall be permitted to reduce the pavement width to 27 feet measured from back-of-curb to back-of-curb.**

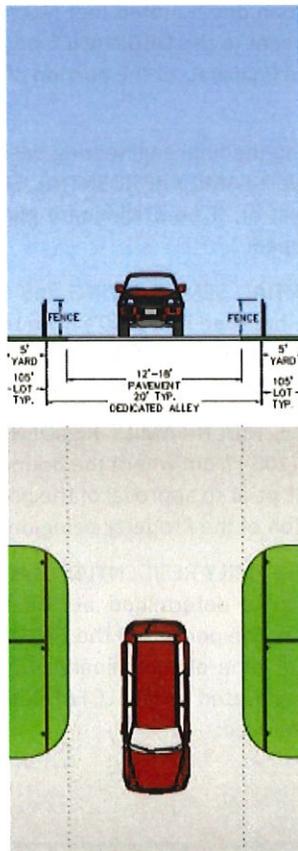
(1) Collector Road – 85-Foot Right-of-Way (w/ 15' median at entry; 37' paving along main corridor w/ no median)



(2) Residential Street – 50-Foot Right-of-Way



(3) Alley



## VIII. Administration

### A. Intent

This Section VIII sets forth the provisions for reviewing and approving development applications within STC Sanger Planned Development District. The intent is to ensure that all development occurring in PD-2021-\_\_ is consistent with the provisions of this ORDINANCE.

### B. Development Districts and Land Use Plan

#### 1. Purpose

- a. The COMMERCE AND RESIDENTIAL DEVELOPMENT DISTRICTS delineate general boundaries of development areas for COMMERCE, MULTI-FAMILY RESIDENTIAL and SINGLE-FAMILY RESIDENTIAL uses.
- b. The LAND USE MAP illustrates general boundaries and mix of proposed locations for respective land uses, densities, circulation plans, and PARK/OPEN SPACE.

#### 2. Modifications and Adjustments

- a. If development constraints are determined to exist when preparing the final engineering design relating to the development of a portion of the Property, then at the time of approval of the preliminary plat or, if no preliminary plat is required, approval of a final plat of the portion of the Property to be developed:
  - (1) The DEVELOPMENT DISTRICT boundaries may be adjusted a maximum of one-hundred feet (100') from the location of the boundaries as shown on Appendix A as long as the number of acres allocated to SINGLE-FAMILY RESIDENTIAL and MULTI-FAMILY RESIDENTIAL and the lot size percentages set forth in Section VIII.B.2 do not change, and;
  - (2) Relocation of any DEVELOPMENT DISTRICT boundary more than one hundred feet (100') from where the boundary is shown on Appendix A shall require an amendment to this ORDINANCE prior to approval of the preliminary plat or, in absence of a preliminary plat, the final plat, of the portion of the Property being developed.
- b. If development constraints are determined to exist when preparing the final engineering design related to the development of a portion of the Property for COMMERCE, MULTI-FAMILY RESIDENTIAL, SENIOR LIVING and SCHOOL, then at the time of approval of the preliminary plat or, if no preliminary plat is required, approval of a final plat of the portion of the Property to be developed:
  - (1) The boundaries of the COMMERCE, MULTI-FAMILY RESIDENTIAL, SENIOR LIVING and SCHOOL uses shown on Appendix C may be adjusted by a maximum of one-hundred feet (100') from the location of the boundaries as shown on Appendix C as long as the acres allocated to SINGLE-FAMILY RESIDENTIAL and/or MULTI-FAMILY RESIDENTIAL set forth in Section VIII.B.2 are not increased, and;
  - (2) Relocation of any boundary on Appendix C for COMMERCE, MULTI-FAMILY RESIDENTIAL, SENIOR LIVING and POTENTIAL SCHOOL more than one hundred feet (100') from where the boundary is shown on Appendix C shall require an amendment to this ORDINANCE prior to approval of the preliminary plat or, in absence of a preliminary plat, the final plat, of the portion of the Property being developed.
- c. Modifications to the location of lots or to the lot types of SINGLE-FAMILY RESIDENTIAL uses as shown on Appendix C may be required based upon engineering constraints determined at the time of final engineering design of the portion of the Property being developed. The portion of the LAND USE MAP for the portion of the Property being developed shall be finalized at time of preliminary plat and may be adjusted as follows as long as the required acreage of the Property allocated to SINGLE FAMILY RESIDENTIAL used and lot size ratios defined in Section VIII.B.2 above are not changed:

- (1) Lot locations may be moved or lot types changed within the SINGLE FAMILY RESIDENTIAL areas as shown on Appendix C at the time of approval of a final plat without requiring an amendment to Appendix C, provided such moves or changes do not exceed a cumulative total for the entire Property of five percent (5%) of lots within the SINGLE FAMILY RESIDENTIAL areas shown on Appendix C.
  - (2) Modifications of lot locations or alteration of lot types in numbers exceeding a cumulative total of five percent (5%) of the lots shall require an amendment to Appendix C of this Exhibit C of this ORDINANCE.
- d. Modifications to the location of PARKS, OPEN SPACE, TRAILS, AND OTHER RECREATION FACILITIES shown on Appendix G – Parks, Open Space, Trails, and Other Recreation Facilities Map and the STREET CROSS SECTIONS shown on Appendix I – Street Cross Sections, may be approved as part of an approved PRELIMINARY PLAT without requiring an amendment to this ORDINANCE provided total acres of PARKS, OPEN SPACE, TRAILS AND OTHER RECREATIONAL FACILITIES remains unchanged.

## C. Preliminary Plat

### 1. Purpose

- a. A PRELIMINARY PLAT provides detailed information regarding the portion of the Property being developed including, but not limited to building locations, numbers and locations of required parking areas, landscaping, signage, fences/walls, lighting, PARK/OPEN SPACE, RECREATION TRAILS and PEDESTRIAN PATHWAYS, egress and ingress into individual sites including location of all streets and alleys, site amenities, and relationship of buildings to adjacent development.
- b. A PRELIMINARY PLAT shall comply with all provisions of this ORDINANCE and when approved, shall be an amendment to this Ordinance relating to the development of the area of the Property controlled by the PRELIMINARY PLAT.
- c. Submittal Requirements:
  - (1) No development shall occur on any portion of the Property until a PRELIMINARY PLAT relating to the development and use of the portion of the Property to be developed has been approved by the City Council in accordance with this Ordinance.
  - (2) An application for PRELIMINARY PLAT shall contain the following:
    - (a) A vicinity map at a scale of 1" = 1000 feet to be placed on the PRELIMINARY PLAT.
    - (b) A boundary survey of the portion of the Property to be developed and governed by the PRELIMINARY PLAT including the following:
      - (i) Metes and bounds of all boundary lines of the building site.
      - (ii) Total land area within the portion of the Property to be developed.
      - (iii) Graphic scale and north arrow.
      - (iv) Names and route numbers of boundary streets and rights-of-way.
      - (v) Existing topography with a maximum contour interval of two (2) feet.
  - (3) A copy of the recorded warranty deed showing current ownership of the portion of the Property to be developed.
  - (4) An aerial photograph of the portion of the Property to be developed and all adjacent properties within five hundred (500) feet stating the date of the photograph.
  - (5) A detailed and to-scale PRELIMINARY PLAT showing:
    - (a) Existing and proposed public or private STREETS and curb cuts.

- (b) Existing and proposed building and PARKING STRUCTURE locations including size in number of square feet, number of floors, number of spaces and size of spaces in PARKING STRUCTURE, and height above grade.
  - (c) Existing and proposed utility easements and fire lanes.
  - (d) Building elevations for all facades including dimensions, materials, and colors.
  - (e) Detailed Sign Plan graphically showing the location of all signs on the portion of the Property to be developed.
  - (f) Lighting plans.
  - (g) Location and screening of mechanical equipment.
  - (h) Location of all fences, walls, awnings, and other streetscape elements.
  - (i) A landscape plan for all areas within the property showing the proposed locations, types and sizes at time of planting for all required landscaping materials including, but not limited to, trees, shrubs, groundcovers, and planting beds; provided, however, a landscape plan for a SINGLE-FAMILY RESIDENTIAL area shall not be required to show the landscaping to be installed on individual residential lots that are not common areas or PARK/OPEN SPACE.
  - (j) Location of trees identified in the tree inventory required by Item (11), below, and identification of which trees will be preserved, which trees will be relocated, and which trees will be removed without being relocated.
- (6) Proposed at-grade parking lots and loading facilities, including the identification of any areas where shared parking is intended to occur, inclusive of the uses that will be using shared parking and the intended hours each will be using the shared parking.
  - (7) A statement of proposed floor area ratio, building site coverage ratio and landscape area ratio.
  - (8) Permitted and accessory uses, and uses to be permitted following approval of a SPECIFIC USE PERMIT, to be allowed on the portion of the Property being developed.
  - (9) Location of existing and proposed utilities, including size and tap location and fire hydrants, above or below ground transformer vaults, lift stations, storm water drainage facilities.
  - (10) Any other information requested by City Staff reasonably necessary to determine compliance of the SITE PLAN with the COMPREHENSIVE ZONING ORDINANCE, as amended hereby.
  - (11) Site utility plan.
  - (12) Description of all SPECIAL EXCEPTIONS the approval of which are being requested as part of the approval of the PRELIMINARY PLAT, including a detailed narrative explaining the reason each SPECIAL EXCEPTION is being requested.
  - (13) Such other studies, reports, plans, data, and information required by other sections of this Exhibit C to be submitted with the application and approved as part of the PRELIMINARY PLAT.

## 2. Review/Approval

Each PRELIMINARY PLAT relating to the use and development of a portion of the Property within PD-2021-\_\_ must be approved by the City Council following receipt of a recommendation from the PLANNING AND ZONING COMMISSION in the same manner as an amendment to the CZO, the City's Zoning Map, and this ORDINANCE. No permits authorizing any type of development or construction of the portion of the Property proposed for development shall be issued by the City prior to approval of a PRELIMINARY PLAT for such portion of the Property.

## 3. Site Plan Modifications and Waivers

- a. The Director of Development Services or appointed designee may, at their sole discretion, but subject to subparagraph a., below, authorize minor deviations from an approved PRELIMINARY PLAT and waive the requirement of a PRELIMINARY PLAT for construction or installation of site improvements (e.g.: signs, limited parking lot modifications, small building additions, accessory structures, fences, etc.)
- b. An administratively approved minor deviation to a PRELIMINARY PLAT without amendment to the PRELIMINARY PLAT, or waiver of the requirement to obtain an approved PRELIMINARY PLAT, is permitted only if:
  - (1) The basic relationship of the improvements does not adversely affect adjacent property;
  - (2) The change or waiver does not result in a conflict with, or non-conformance with, the provisions of this ORDINANCE;
  - (3) The fundamental character of the development as a whole is not detrimentally changed or altered;
  - (4) The deviation or waiver does not result in the approval of a land use on the portion of the Property being developed not otherwise authorized in this ORDINANCE or not permitted in accordance with the PRELIMINARY PLAT or LAND USE MAP or, to the extent not modified by the this Ordinance, City's Zoning Map;
  - (5) The deviation or waiver does not increase the allowable intensity or density of any land use under this Ordinance the PRELIMINARY PLAT relating to the portion of the Property being developed;
  - (6) The deviation of waiver does not effectively result in an amendment to the CZO to an extent beyond the amendments established by this Ordinance.
- c. The Director of Development Services or appointed designee shall have the sole discretion to require a request for a minor deviation to an approved PRELIMINARY PLAT be submitted as an application to amend the existing PRELIMINARY PLAT and approved in the same manner as required for approval of a PRELIMINARY PLAT.

## D. Special Exceptions

### 1. Purpose

In circumstances where the owner/applicant believes that, due to unique characteristics of the portion of the Property to be developed or other special circumstances, strict compliance with the standards outlined in this ORDINANCE is not feasible or desirable and that deviation from the standards will allow for equal or better results, the PLANNING AND ZONING COMMISSION and CITY COUNCIL may be petitioned to grant a special exception to this ORDINANCE'S standards.

### 2. Review and Approval

- a. All requests for SPECIAL EXCEPTIONS shall be considered at the time of approval of the PRELIMINARY PLAT.

## E. Specific Use Permit

This ORDINANCE establishes certain land uses that are only permitted upon approval of a SPECIFIC USE PERMIT (SUP). Application for and approval of an SUP for any portion of the Property shall be reviewed and approved in the same manner as set forth in CZO.

## IX. Definitions

The following words and phrases as used in this ORDINANCE shall have the following meanings unless the context of such use clearly indicates otherwise. Words and phrases not defined in this Section IX but which are defined in the CZO shall have the meaning provided such words and phrases in the CZO. Wherever a word or phrases is printed in CAPITAL LETTERS, it is being used as defined herein.

**ACCESSORY BUILDING OR STRUCTURE (RESIDENTIAL DISTRICT)** – A subordinate building or structure, detached and used for a purpose customarily incidental to the main structure such as a private garage for automobile storage, tool house, lathe or greenhouse as a hobby (no business), home workshop, children's playhouse, storage house, garden shelter or swimming pool, but not involving the conduct of a business.

**ACCESSORY UNIT** – A building that is not the primary structure, located on a lot that can be used as additional residential or HOME OCCUPATION space by the occupant of the primary structure.

**ACCESSORY USE (see USE).**

**AFFILIATED RESIDENTIAL USES (see USE).**

**ALLEY** – A public space or drive which affords secondary means of access to abutting property.

**AMENITY CENTER** – An OPEN SPACE area developed as a recreational center for the use by neighborhood residents and their guests that may include pools, hot tubs, meeting rooms, workout spaces, bathrooms, playgrounds and similar uses.

**AMPHITHEATER** – an OPEN SPACE devoted to an open-air venue used for entertainment and similar events.

**AWNING** – A cantilevered, projected or suspended cover over the sidewalk portion of the PUBLIC SPACE. This also includes roof-like coverings, usually of canvas or metal and often adjustable, placed over the sidewalk, windows, or doors to provide protection from sun and rain.

**ATTIC STORY** – Space situated immediately below a pitched roof building not intended as habitable space or considered a regular STORY.

**BALCONY** – An exterior platform attached to the building FAÇADE extending outward from an interior room located above a ground story.

**BAY WINDOW** – Generally, an interior enclosure with windows extending outward from the building FACADE.

**BLOCK** – An area enclosed by streets and occupied by or intended for buildings; or if said word is used as a term of measurement, it shall mean the distance along a side of a street between the nearest two streets which intersect said street on said side

**BLOCK CORNER** – The outside corner of a BLOCK at the intersection of any two STREETS.

**BUILDABLE AREA** – The area of the LOT that building(s) may occupy behind the REQUIRED BUILDING SETBACK LINE, excluding any required setbacks or permitted encroachments into the REQUIRED BUILDING SETBACK LINE.

**BUILDING ENVELOPE STANDARDS (BES)** – The part of this ORDINANCE that establishes basic parameters regulating building form.

**BUILDING HEIGHT** – For COMMERCE and MULTI-FAMILY uses, BUILDING HEIGHT is measured in STORIES; for SINGLE-FAMILY RESIDENTIAL uses, BUILDING HEIGHT is measured from the existing grade to the midpoint of a gabled roof line or the top of the parapet or mansard roof.

**BUILDING LINE (FRONT SETBACK)** – The line at which the building FACADE shall be located adjacent to or behind.

**BUILDING MATERIALS, ACCENT** – Pre-cast masonry (for trim and cornice elements only); gypsum reinforced fiber concrete (for trim elements only); metal (for beams, lintels, trim elements and ornamentation only); split-faced block (only for piers, foundation walls and chimneys), and EIFS.

**BUILDING MATERIALS, PRIMARY** – MASONRY/STONE, or Hardie-Plank™ equivalent or better siding.

**BUILDING MATERIALS, SECONDARY** – STUCCO/PLASTER

**BUILDING SHELL** - A building the construction of which is sufficiently completed with roof, foundation, and exterior walls in accordance with the applicable Development Regulations to obtain a certificate of occupancy, certificate of completion/temporary certificate of occupancy from City.

**CANOPY** – An architectural projection of canvas or similar material that provides weather protection over an area and is supported by the building to which it is attached and at the outer end by not less than two posts.

**CITY** – City of Sanger, Texas.

**CITY COUNCIL** – The City Council of the City of Sanger, Texas

**CIVIC BUILDINGS** – Publicly- or privately-owned buildings that are open to the public for non-COMMERCE purposes.

**CODE OF ORDINANCES** – The Code of the Ordinances of the City of Sanger, as amended, or recodified from time to time.

**COLONNADE** – A roofed or built structure, extending over the sidewalk open on all sides except for supporting columns, piers, or arches.

**COMMERCE (see USE)** – synonymous with “COMMERCIAL.”

**COMMERCE BUILDING** – Any building used for the purpose of COMMERCE and includes MIXED USE BUILDINGS.

**COMMERCIAL INDOOR AMUSEMENT (see USE).**

**COMMISSION or PLANNING AND ZONING COMMISSION** – The Planning and Zoning Commission of the City of Sanger, Texas.

**COMMON LOT LINES** – Lot lines shared by adjacent lots.

**COMPREHENSIVE ZONING ORDINANCE or CZO** – The Comprehensive Zoning Ordinance of the City of Sanger, as amended from time to time, including any future codifications.

**CONVENIENCE COMMERCIAL** – COMMERCE uses such as convenience stores or small-scale strip centers.

**COURTYARD** – A paved or partly paved OPEN SPACE that is surrounded completely or partly by a building or a group of buildings; may also be defined as a PLAZA.

**COVERED SIDEWALK** – A roofed or built structure attached to the FAÇADE and extending beyond the REQUIRED BUILDING SETBACK LINE and over the sidewalk or SQUARE, open to the PUBLIC SPACE except for supporting columns, piers, or arches.

#### **DEVELOPMENT DISTRICTS**

**COMMERCE DISTRICT** – Land designated on the DEVELOPMENT DISTRICT MAP as COMMERCE intended for more flexible development standards allowing for COMMERCE uses ranging from single lot projects such as big-box stores and hotels to larger-scale shopping centers and business centers as well as MULTI-FAMILY RESIDENTIAL uses.

**RESIDENTIAL DISTRICT** – Land designated on the DEVELOPMENT DISTRICT MAP as RESIDENTIAL intended for a mix of DETACHED and ATTACHED RESIDENTIAL.

**DEVELOPMENT REGULATIONS** - City’s ordinances and regulations applicable to the development and use of the Property and the construction of any buildings or other structures or improvements on any portion of the Property, including, but not limited to, applicable provisions of the Code of Ordinances, the CZO, City’s Subdivision Regulations, as amended or succeeded, and this Ordinance, as amended from time to time.

**DRIVE-THROUGH BUSINESSES** – An establishment that sells products or provides services to occupants in vehicles, including drive-up, drive-through, and in-vehicle food services.

**DRIVE-THROUGH BUSINESSES, NON-RESTAURANTS** – A business that includes the operation of drive-up or a drive-through service at a bank or financial institution, food sales (for off-site preparation), personal services, and retail sales (e.g., pharmacy).

**DRIVE-THROUGH BUSINESSES, RESTAURANTS** – A business that includes the operation of drive-up or a drive-through service in conjunction with a restaurant or fast food restaurant, including food services offered to patrons seated in vehicles.

**DORMER** – Small, roofed ancillary structures with windows providing light and air to habitable space within the roof.

**EAVE** – The overhanging edge of a roof.

**EXTERIOR INSULATION AND FINISH SYSTEM or “EIFS”** – a no-load bearing, exterior wall cladding system that consists of an insulation board attached either adhesively or mechanically, or both, to the substrate; an integrally reinforced base coat; and a textured protective finish coat.

**FAÇADE** – Exterior building face.

**FENESTRATION** – Openings in the building wall allowing light and views between interior and exterior measured as glass area.

**FRONT YARD TREE (see TREE, FRONT YARD).**

**GARAGE ENTRY** – An opening (with curb cut) in the building FAÇADE where vehicles may enter into the interior for general parking and business servicing.

**GROUND STORY (see STORY, GROUND).**

**HEIGHT (see BUILDING HEIGHT)**

**HOTEL, EXTENDED STAY** – An establishment offering extended stay lodging facilities consisting of efficiency units, regular rooms or suites with complete or limited kitchens suitable for occupancy rentals by the week or month.

**HOTEL, FULL SERVICE** – An establishment offering temporary lodging facilities consisting of regular rooms or suites suitable for short-term stays with one or more restaurants and lounges, food and beverage catering, conference meeting rooms, recreational amenities and STRUCTURED PARKING.

**HOTEL, LIMITED SERVICE** – An establishment offering temporary lodging facilities consisting of regular rooms or suites suitable for short-term stays that may offer a business center, pool/whirlpool, workout room, a meeting room and a lobby marketplace for snacks and beverages; the establishment may offer restaurant services geared to primarily hotel guests.

**HOME OCCUPATION** – An occupation conducted solely by a residing member of the occupant’s family, in the main structure only and which does not: offer goods or services to a client(s) at the premises or; involve the employment or assemblage of assistants or other persons at the premises or; require structural alterations to the building or, involve the installation of machinery or equipment not customarily found at a residence or; involve any advertising or signage at the premises or; involve the dedication of greater than 20% of the building area to the storage or warehousing of any goods, equipment, materials, or other matter associated with the occupation at the premises or; cause the generation of additional traffic in the street or; cause additional parking at or around the premises or; cause the parking or storage of commercial vehicles at the premises or; create or emit any noise, odor, glare, or smoke outside of the main residence or; require additional utilities (other than telephone) to the premises. Exception: This definition is not intended to preclude the occasional visit of a person to a premises due to a home occupation such as tutoring, piano lessons, or other similar non-disruptive home occupation.

**J-SWING GARAGE** – A residential building design wherein the garage door is situated perpendicular to the STREET and results in the building FAÇADE projecting forward toward the front building line.

**LAND USE PLAN** – Proposed land uses as shown on the LAND USE MAP.

**LOT, CORNER** – A lot that is bounded by intersecting STREETS.

**LOT COVERAGE** – The percentage of the total area of a lot occupied by the base (first story or floor) of buildings located on the lot or the area determined as the maximum cross-sectional area of the building; Eaves, drives, uncovered patios/porches, sidewalk and similar improvements are excluded from LOT COVERAGE computations.

**LOT LINE** – The lines bounding a lot.

**LOT WIDTH** – The width of the lot as measured at the building line.

**MAJOR STREET** (see **STREET, MAJOR**).

**MASONRY/STONE** – Defined as construction material three (3) inches or thicker composed of natural stone, kiln fired clay brick, decorative concrete block or other masonry material approved by the CITY'S building official.

**MINOR STREET** (see **STREET, MINOR**).

**MIXED USE BUILDINGS** – Multi-storied building having a different use on the ground floor than on upper floors (e.g. ground floor **RETAIL** and upper floor **RESIDENTIAL** uses).

**OFFICE BUILDING** – A building used to house **OFFICE USES**.

**ORDINANCE** – City of Sanger Ordinance No. 2021-XX, as may be amended from time to time, inclusive of all exhibits and appendixes.

**PAD SITE** – A freestanding parcel within a shopping center generally leased or sold to **COMMERCE** uses such as fast-food outlets, chain restaurants, financial institutions, and similar uses.

**PARAPET** – A low wall projecting from the edge of a platform, terrace, or roof.

**PARAPET HEIGHT** – Where used to limit building height, **PARAPET HEIGHT** is the distance measured at the top of the parapet, including any coping.

**PARK** (see **OPEN SPACE**)

**PARK, LINEAR** – A linear strip of primarily landscaped grassed **OPEN SPACE** land often traversed by **PEDESTRIAN PATHWAYS** in proximity to development to provide additional **OPEN SPACE** for passive recreational use.

**PARK, NEIGHBORHOOD** – An **OPEN SPACE** area of a size intended primarily for the outdoor recreational use of nearby residents and their guests.

**PARK/OPEN SPACE** – Land and water designed for active and/or passive recreational enjoyment, but also including small vegetative spaces and includes **AMPHITHEATERS**, **AMENITY CENTERS**, **COURTYARDS**, development entries, **PLAZAS**, **NEIGHBORHOOD PARKS**, **PEDESTRIAN PATHWAYS**, **RECREATIONAL TRAILS**, and undeveloped land under the control of the **VALWOOD IMPROVEMENT AUTHORITY DISTRICT**; areas located within a **SINGLE-FAMILY RESIDENTIAL LOT** or within a public right-of-way shall not be considered **PARK/OPEN SPACE**.

**PARKING SETBACK LINE** – A setback line from the street right-of-way or adjoining property line delineating the point at which surface parking may occur (does not include driveways).

**PARKWAY** – An area located immediately between the street curb and sidewalk in which **STREET TREES** and street lights and other such infrastructure are placed.

**PEDESTRIAN PATHWAY** – A paved walkway/sidewalk that provides pedestrian access throughout a community to **COMMERCE** and **RESIDENTIAL** uses; **PEDESTRIAN PATHWAYS** are not considered appropriate for bicycle use.

**PLAZA** – A paved **OPEN SPACE** area offering places often surrounded in whole or in part by buildings; may also be defined as a **COURTYARD**.

**PODIUM BUILDING** – A multi-story building where the **GROUND STORY** (and sometimes above **STORIES**) serves as the building's foundation and may provide areas for parking and other uses.

**PRIMARY BUILDING MATERIALS** (see **BUILDING MATERIAL, PRIMARY**)

**PROPERTY/HOMEOWNER ASSOCIATION** – An association to oversee the management of commonly held property and to ensure property owner compliance with the covenants, restrictions and conditions governing the use of property within PD-2021-\_\_

**PUBLIC ART** – Art that is visually or physically accessible to the public (within the public realm e.g.) and that is provided by a public or private entity as a community benefit, including monuments and statues, or building ornament.

**PUBLIC SPACE** – The public domain commonly referred to as the public STREETS, ALLEYS and rights-of-way but can include travel lanes, parkways, PEDESTRIAN PATHWAY, and PARK/OPEN SPACE.

**REAR LOT LINES** – Lot lines located at the rear of the property and often abutting ALLEYS.

**RECREATIONAL TRAIL (see TRAIL, RECREATIONAL)**

**REQUIRED BUILDING SETBACK LINE** – A line/plane which extends vertically and generally parallel to a street, at which the building FAÇADE may not extend past.

**RETAIL (see USE).**

**RESIDENTIAL (see USE)**

**RESIDENTIAL, MIXED-USE** – A multi-storied building having ground floor retail and/office uses and residential on upper floors.

**RESIDENTIAL, SINGLE-FAMILY ATTACHED (TOWNHOME)** – A SINGLE-FAMILY RESIDENTIAL use constructed in a group of two (2) or more attached units separated by property lines in which each unit extends from foundation to roof.

**RESIDENTIAL, SINGLE-FAMILY DETACHED** – A free-standing, SINGLE-FAMILY RESIDENTIAL use occupying a single lot not sharing any walls in common with adjacent SINGLE-FAMILY RESIDENTIAL use.

**RESIDENTIAL, MULTI-FAMILY** – A MULTI-FAMILY RESIDENTIAL use with densities ranging from twenty-four (24) to thirty-five (35) units per gross acre.

**RESIDENTIAL, SINGLE-FAMILY** – A residential dwelling occupied by persons living as a single household unit (does not include MULTI-FAMILY RESIDENTIAL).

**RESIDENTIAL, TOWNHOME (see SINGLE-FAMILY ATTACHED RESIDENTIAL)**

**SCHOOL, PRIMARY OR SECONDARY** – A school operated by an independent school district, religious entity or private corporation providing a kindergarten, elementary and/or secondary curriculum.

**SCHOOL, COLLEGE OR UNIVERSITY** – An academic institution of higher learning, accredited or recognized by the State and offering a program or series of programs of academic study.

**SECONDARY BUILDING MATERIALS (see BUILDING MATERIALS, SECONDARY).**

**SENIOR/ASSISTED LIVING FACILITY** – A residential living facility for older adults that may include independent living arrangements designed exclusively for seniors, generally those 55 years or older, to live independently within an apartment-style facility or freestanding home; it may also include, as an accessory use, living facilities that offer a larger range of services for residents as their level of care expands, as long as the resident does not need skilled 24-hour nursing care.

**SITE LIGHTING** – Light fixtures and light standards located on a lot or parcel outside the public right-of-way.

**SKILLED NURSING HOME FACILITY** – State-licensed long-term care residential living facility offering 24-hour medical care provided by registered nurses, licensed practical nurses and/or certified nurse assistants for residents who are totally dependent on nursing care or short-term rehabilitation between hospital and home.

**STOOP** – An unenclosed, roofed or unroofed entry platform at the front entry of a building.

**STORY.** That portion of a building included between the upper surface of a floor and the upper surface of the floor or roof next above and includes a PODIUM BUILDING STORY when designed for parking or other uses. It is measured as the vertical distance from top to top of two successive tiers of beams or finished floor surfaces and, for the topmost story, from the top of the floor finish to the top of the ceiling joists or, where there is not a ceiling, to the top of the roof rafters.

**STORY, GROUND** – The first level of a building at or above grade.

**STREET** – A public thoroughfare used for vehicular traffic usually within dedicated right-of-way; this definition does not include ALLEYS, CITY fire lanes, driveways, or access aisles or easements.

**STREET CLASSIFICATION** – STREETS are classified as to their function as COLLECTOR or MINOR STREETS or ALLEYS.

**STREET LIGHT** – A luminaire installed on both sides of a STREET within the public right-of-way.

**STREET, COLLECTOR** – A STREET having Two or more travel lanes with rights-of-way of greater than sixty (60) feet.

**STREET, MINOR** – A STREET having two or less travel lanes with rights-of-way exceeding forty (40) feet.

**STREET FRONTAGE** – That portion of the lot or building that is coincident with the front building setback area.

**STREET TYPE** – A specific STREET cross section that depicts number of lanes, widths of travel lanes, PARKWAYS, and PEDESTRIAN PATHWAYS.

**STUCCO/PLASTER** – Stucco/Plaster material shall only be considered as meeting the masonry requirement when applied using a 3 step process over diamond metal lath mesh to a 7/8 inch thickness or by other processes producing comparable cement stucco finish with equal or greater strength, durability and fire resistive specifications.

**SUBAREAS** – These are areas for development of distinct types of land uses such as SINGLE-FAMILY DETACHED and MULTI-FAMILY RESIDENTIAL, COMMERCE, etc.

**TREE, STREET** – A tree planted in the PARKWAY.

**TREE, FRONT YARD** – A tree planted in a front yard area.

**TRAIL, RECREATIONAL** – A paved pathway for use by pedestrians and bicyclists with widths of eight to twelve (8 – 12) feet intended to provide intra-CITY recreational opportunities; this definition does not include sidewalks primarily intended to serve pedestrians.

## USES

**ACCESSORY USE** – A use of land or building or portion thereof customarily incidental and subordinate to the principal use of the land or building and located on the same lot with the principal use; within a RESIDENTIAL DISTRICT this may include a pool, children’s play equipment, gazebo, picnic table, etc.

**AFFILIATED RESIDENTIAL USE** – A use intended for the residents and their guests of a RESIDENTIAL use that includes a leasing office, fitness center, game room, laundry, pool, amenity center and other residential-related services and uses.

**BUSINESS SERVICE USE** – Establishments primarily engaged in rendering services to business establishments on a fee or contract basis, including but not limited to advertising and mailing; building maintenance; employment service; management and consulting services; equipment rental and leasing (does not include outside storage or heavy construction equipment); commercial research; development and testing; photo finishing; and supplies services.

**CIVIC USE** – Community uses including: meeting halls; libraries; schools (kindergarten through college); police and fire stations; post offices (retail operations only, no primary distribution facilities); places of worship; museums; cultural, visual and performing art centers; transit centers; government functions open to the public; and, other similar uses.

**COMMERCE USE (COMMERCIAL)** – Any use that is defined herein as a BUSINESS SERVICE, OFFICE, PERSONAL SERVICE, RETAIL SERVICE, RETAIL SPECIALTY, RETAIL TRADE, and STUDIO uses but specifically excluding any uses prohibited by this ORDINANCE.

**COMMERCIAL INDOOR AMUSEMENT USE** – Commercial establishments wholly contained within a building that provide amusement, entertainment or games of skill for a fee or admission charge including, but not limited to, billiards, bowling, video or game arcades, movie theaters, and skating rinks.

**PERSONAL SERVICE USE** – Establishments primarily engaged in providing services involving the care of a person or his or her apparel, including laundry, cleaning and garment services, garment pressing, coin operated laundries, beauty shops, barber shops, shoe repair, reducing salons and health clubs, clothing rental, doctors, dentists, chiropractors, veterinarians, etc.

**OFFICE USE** – Includes, but are not limited to lawyers, engineers, architects, landscape architects, accountants, insurance agencies, economic consultants, general business offices, or other similar professions.

**RESIDENTIAL USE** – A range of housing uses that encompass SINGLE-FAMILY and MULTI-FAMILY uses, and SENIOR/ASSISTED and/or SKILLED NURSING HOME FACILITIES.

**RETAIL SERVICE USE** – Establishments providing services, as opposed to products, to the general public, including restaurants, FULL SERVICE HOTELS, finance, real estate and insurance, travel agencies, health and educational services, and galleries.

**RETAIL SPECIALTY USE** – Include, but are not limited to the sale of gifts, antiques, flowers, books, jewelry, wearing apparel or craft shops making articles exclusively for sale at retail on the premises. Establishments selling used goods or merchandise and retail store sales consisting primarily of specialty and novelty items as defined by City of Sanger Resolution No. 77-028 are specifically excluded.

**RETAIL TRADE USE** – Establishments engaged in selling new goods or merchandise to the general public for personal or household consumption and rendering services incidental to the sale of such goods. Establishments primarily engaged in the selling of used goods or merchandise are specifically excluded.

**STUDIO USE** – Includes, but is not limited to dance, art, music, photography, radio or television and specifically excluding any type of sexually oriented business.

**X. Appendix**

Appendix A – Development District Map

Appendix B – Development Subarea Map

Appendix C – City of Sanger Current Impact Fee and Park Fee Ordinance

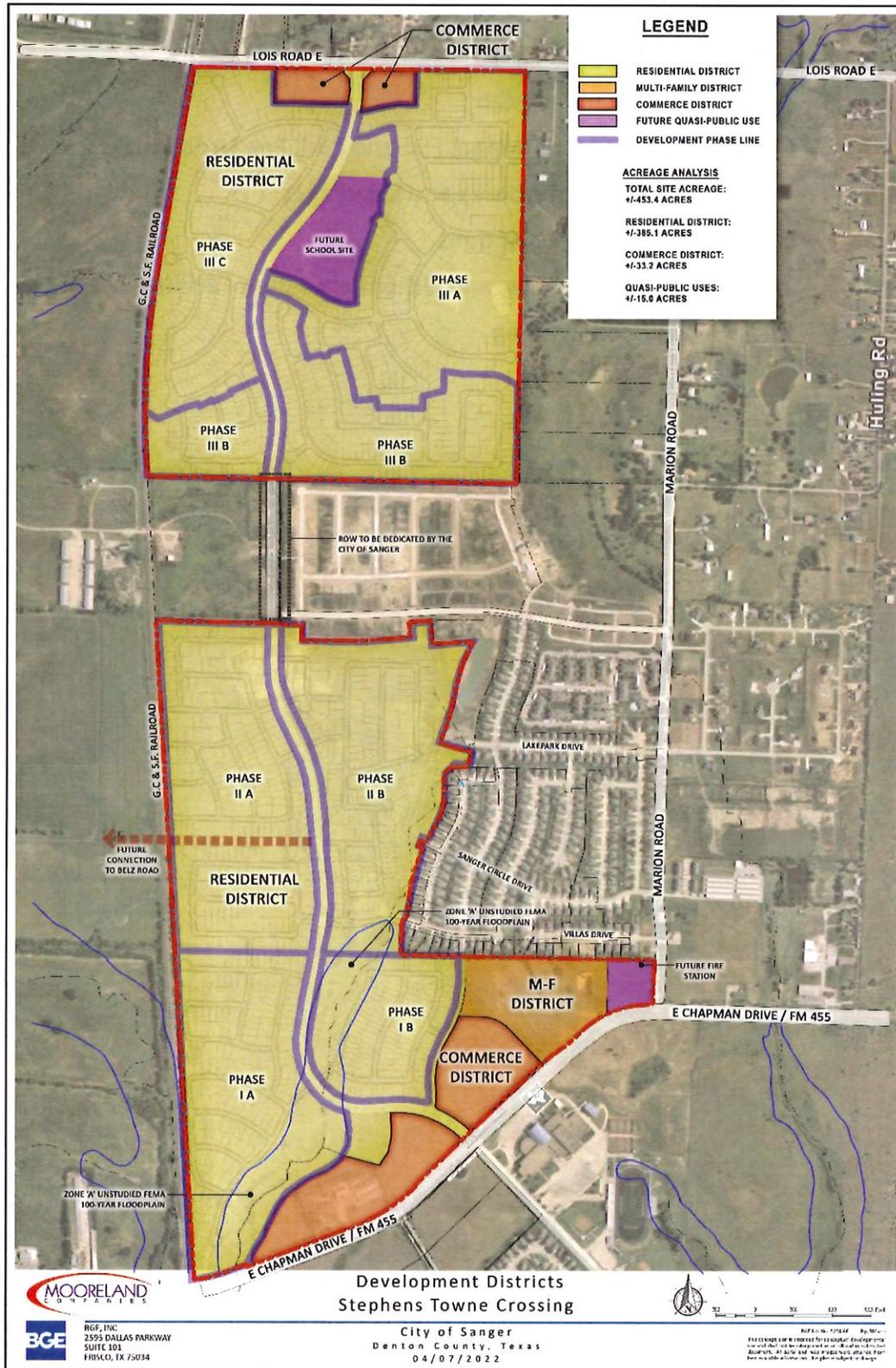
Appendix D – Typical Building Lot Setbacks and Coverages

Appendix E – Conceptual Building Elevations

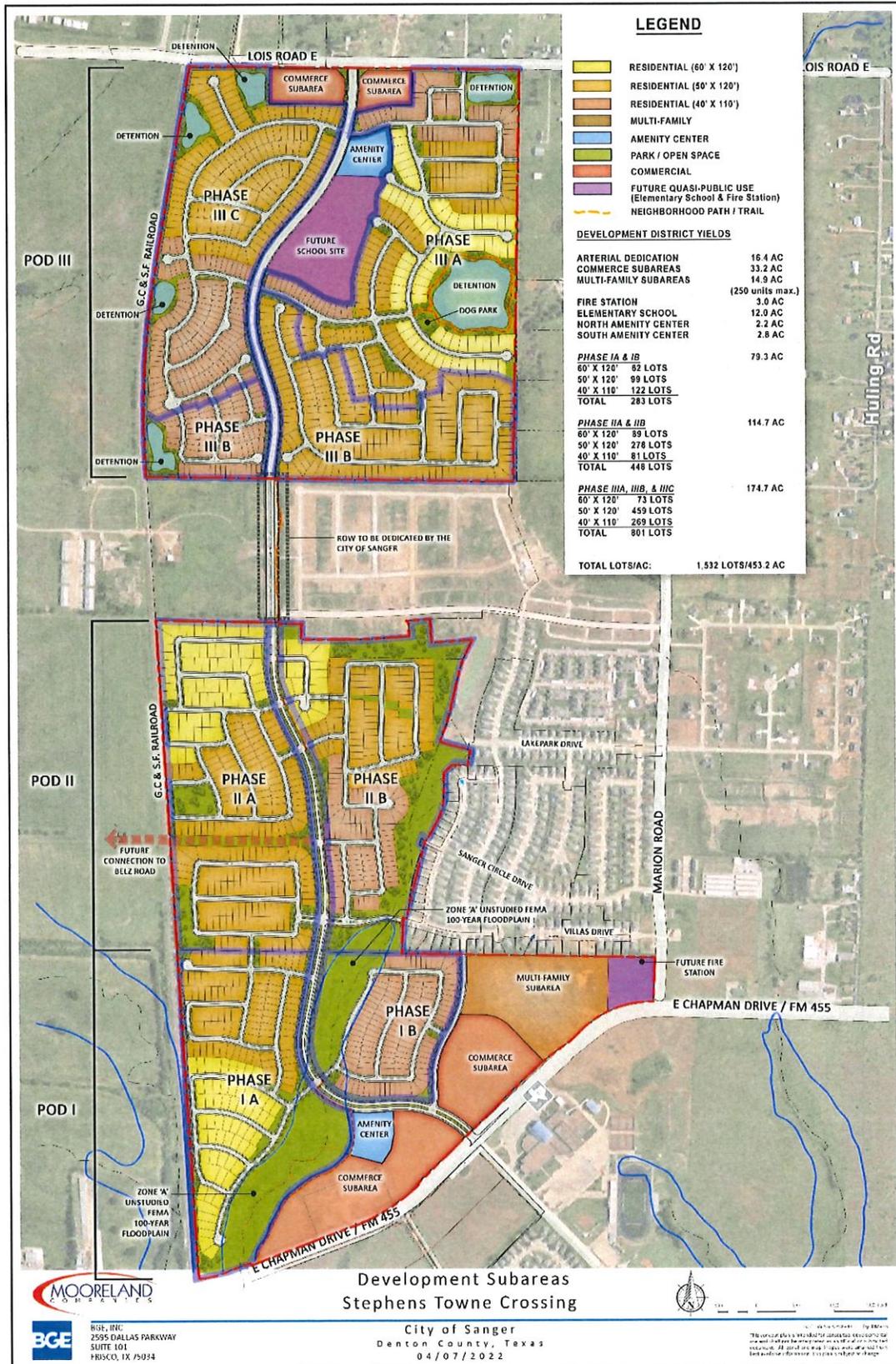
Appendix F – Parks, Open Space, Trails, and Other Recreation Facilities Map

Appendix G – Street Classifications Map

Appendix A – Development District Map



Appendix B – Development Subarea Map



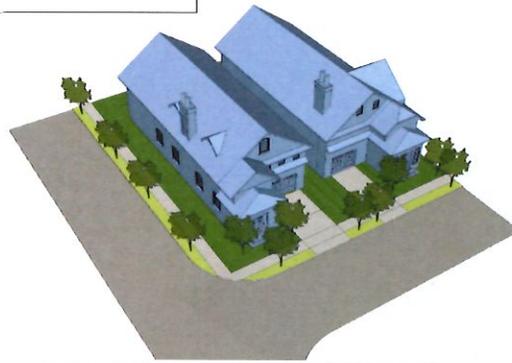
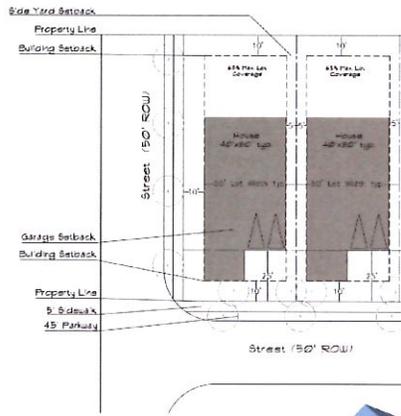
Appendix C – Conceptual Southern Amenity Center / Food Truck Relationship



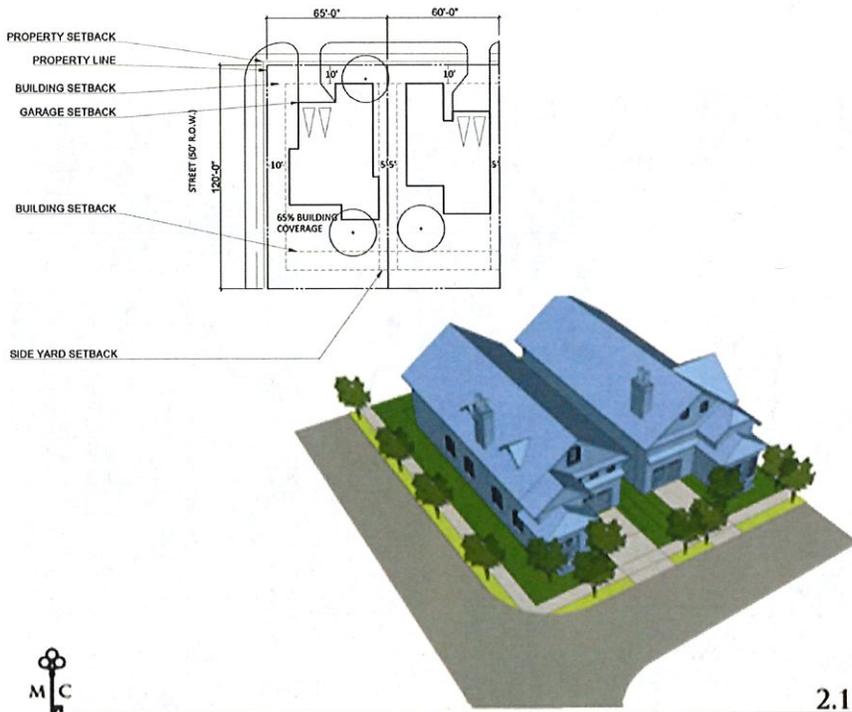
A. Appendix D – Typical Building Lot Setbacks and Coverages



2.1 LOT DESIGN STANDARDS  
40' FRONT LOADING



**2.1 LOT DESIGN STANDARDS**  
50' FRONT LOADING LOT



**2.1 LOT DESIGN STANDARDS**  
60' FRONT LOADING LOT

B. Appendix E – Conceptual Building Elevations



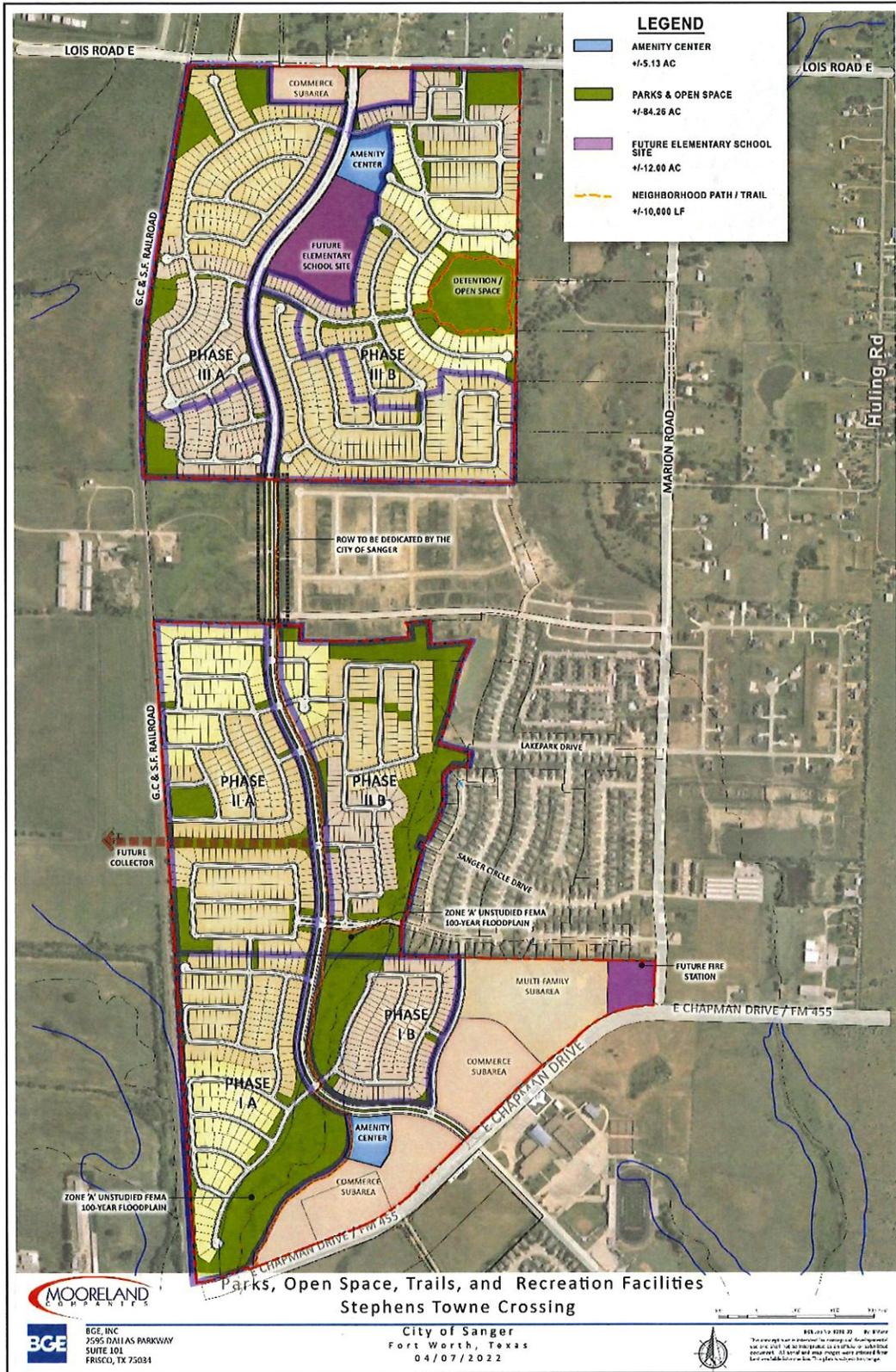




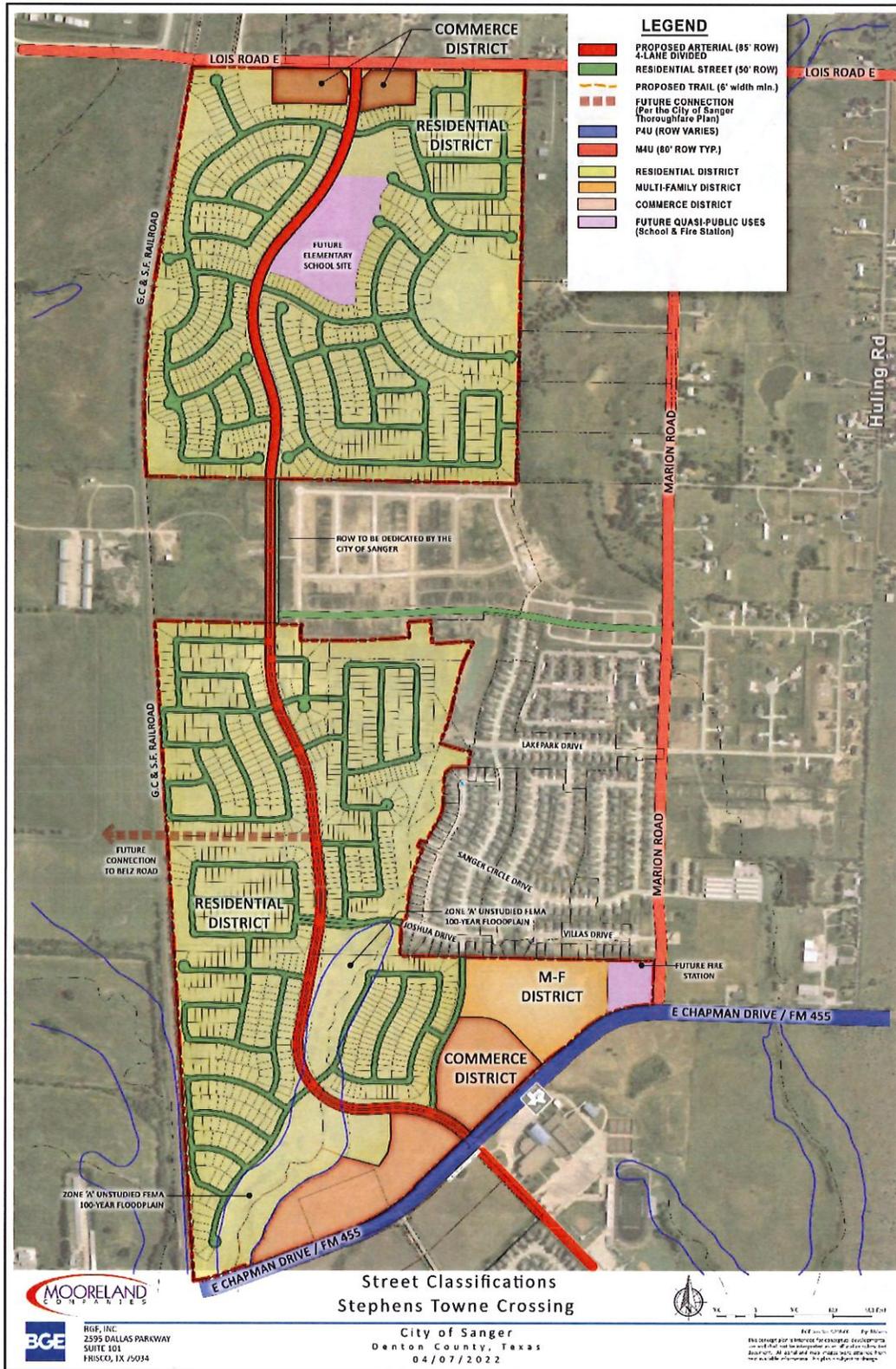




Appendix F – Parks, Open Space, Trails, and Other Recreation Facilities Map



Appendix G – Street Classifications Map



# Response Form

22SANZON-0024

## Zoning Change from Agricultural to Planned Development

In order for your opinion to be counted, please complete and mail this form to:

**Development Services Department**

**Attn: Ramie Hammonds**

**P.O. Box 1729**

**Sanger, TX 76266**

You may also email or fax a copy to:

Email: [rhammonds@sangertexas.org](mailto:rhammonds@sangertexas.org)

Fax: (940) 458-4072

**Project No:** 22SANZON-0024/ Zoning Change from Agricultural to Planned Development

**Please circle one:** In favor of request

Opposed to request

**Comments:**

Signature

*Tina Snow*

Printed Name

Tina Snow

Mailing Address

3902 Kensington Dr.

City, State, Zip

Sanger TX 76266

Phone Number

940.206.7476

Email Address

TKSnow315@hotmail.com

Physical Address of Property within 200 feet

3902 Kensington Dr.

# Response Form

22SANZON-0024

## Zoning Change from Agricultural to Planned Development

In order for your opinion to be counted, please complete and mail this form to:

**Development Services Department**

**Attn: Ramie Hammonds**

**P.O. Box 1729**

**Sanger, TX 76266**

You may also email or fax a copy to:

Email: [rhammonds@sangertexas.org](mailto:rhammonds@sangertexas.org)

Fax: (940) 458-4072

---

**Project No:** 22SANZON-0024/ Zoning Change from Agricultural to Planned Development

**Please circle one:** In favor of request  Opposed to request

**Comments:**

*I am okay with this only if it includes a grocery store.  
It is ridiculous for a city of this size with all this growth to not  
have a decent grocery.*

**Signature**

*Klara Ellen Johansen*

**Printed Name**

*Klara Ellen Johansen*

**Mailing Address**

*3905 Kensington Drive*

**City, State, Zip**

*Sanger, TX 76266*

**Phone Number**

*214-636-5915*

**Email Address**

*ejohan1014@msn.com*

**Physical Address of Property within 200 feet**

*3905 Kensington Drive*

# Response Form

## 22SANZON-0024

### Zoning Change from Agricultural to Planned Development

In order for your opinion to be counted, please complete and mail this form to:

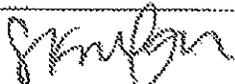
**Development Services Department**  
**Attn: Ramie Hammonds**  
**P.O. Box 1729**  
**Sanger, TX 76266**

You may also email or fax a copy to:  
Email: [rhammonds@sangertexas.org](mailto:rhammonds@sangertexas.org)  
Fax: (940) 458-4072

**Project No:** 22SANZON-0024/ Zoning Change from Agricultural to Planned Development

**Please circle one:** In favor of request      Opposed to request

**Comments:**  
see attached letter

**Signature**  

**Printed Name** Pecos Fulfer & Stacie Fulfer

**Mailing Address** 4711 Joshua Drive

**City, State, Zip** Sanger, TX 76266

**Phone Number** 817-994-7669

**Email Address** pecos444@gmail.com

**Physical Address of Property within 200 feet** 4711 Joshua Drive

To: Development Services Department

Attn: Ramie Hammonds, Sanger Town Council, and the Mayor

P.O Box 1729

Sanger, TX 76266

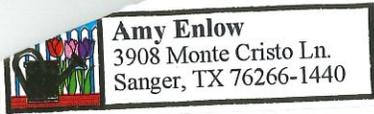
I am writing this letter to inform the development services and town council that I am opposed to the new zoning changes. Project No: 22ANZON-0024/ Zoning change from Agricultural to Planned Development. I am a retired Petty Officer of the United States Navy; I grew up in Flower Mound and I live in Sanger now. I saw the beauty growing up in Flower Mound be destroyed by developers and crooked city council members. My mother, Vicki Fulfer was the President of Voters United and Worked every day with Mayor, Lori Deluca to preserve Flower Mound after. I remember as a young child going to hearings and court because they were constantly being sued by the developers and the town's lawyers. By allowing the developers to come into Sanger, this town will lose its county and rural feel that everyone enjoys, as it is one of the last areas in DFW that isn't overdeveloped. That field across from the high school is an agricultural zone and should stay one. If that area were to be developed, it would cause traffic on 455 to be too much to handle, even for the small improvements that are taking place to expand 455. The town needs to conduct a traffic study and a study and see if additional schools need to be built to accommodate the influx of new people. The area that is proposed is polluted with train horns and makes it extremely undesirable to live there. If houses are to be built there, they will most certainly be rental units and fewer people will have ownership of a house in this town. Has a proper water or sewage study been done to see if that amount of development could handle whatever is planned to be developed there? The influx of housing will also pose a safety hazard to high schoolers that walk to and from school. The town doesn't even have a grocery store and you guys are already selling your souls to the developers to throw in more cheap Cookie-cutter houses. What was once a small, cute, quiet, and desirable town will be destroyed and you will be to blame for it. This city must preserve as much of the natural landscape as this town has. Out of all the areas, you could possibly develop, this area proposed is the absolute worst one that could be proposed and needs to be rejected immediately.

Very Respectfully

Pecos Fulfer R.T.(R)(ARRT)

4711 Joshua Dr. Sanger TX, 76266

(817) 994-7669



# Response Form

22SANZON-0024

## Zoning Change from Agricultural to Planned Development

In order for your opinion to be counted, please complete and mail this form to:

**Development Services Department**

**Attn: Ramie Hammonds**

**P.O. Box 1729**

**Sanger, TX 76266**

You may also email or fax a copy to:

Email: [rhammonds@sangertexas.org](mailto:rhammonds@sangertexas.org)

Fax: (940) 458-4072

**Project No:** 22SANZON-0024/ Zoning Change from Agricultural to Planned Development

**Please circle one:** In favor of request

Opposed to request

**Comments:**

we are a rural town. We moved out here to get away from the big city. Most people who do are more financially stable and like the peace. Go big city & loose the peace & tranquility.

Signature

*Amy Enlow*

Printed Name

Amy Enlow

Mailing Address

39080 monte Cristo Ln

City, State, Zip

Sanger TX 76266

Phone Number

817-723-3837

Email Address

acenlow@gmail.com

Physical Address of Property within 200 feet

same

also we are about to have food shortage  
||| why get side of agriculture land that can produce  
||| when demand is high.



**AGENDA MEETING DATE: May 9, 2022**

**TO: John Noblitt, City Manager**

**FROM: Ramie Hammonds, Development Service Director**

---

**ITEM/CAPTION:**

**1114 N STEMMONS - SUP -PH**

Conduct a public hearing on a request for a Specific Use Permit (SUP) for Restaurant use located at 1114 N Stemmons Frwy. in the north suite of a multi-suite building on approximately 1.42 acres of land described as A00290A R. BEEBE, TR 133, zoned as Industrial 1 (I-1) within the City of Sanger and generally located on the corner of N 5th St and N Stemmons Frwy.

---

**AGENDA TYPE:** Public Hearing

---

**ACTION REQUESTED:**

---

**BACKGROUND:**

- The site is currently zoned Industrial 1 (I-1).
  - The applicant is requesting a SUP for a restaurant that would be located at 1114 N Stemmons Frwy.
  - The suite is one of three located in that building. With one being an Italian restaurant and the other a hair salon.
  - This suite was previously a cleaners.
  - The property to the south is zoned B-2 and SF-8, the property to the north and east is I-1, and the property to the west across I-35 is zoned B-2
- 

**LEGAL/BOARD COMMISSION RECOMMENDATIONS/CITIZEN NOTICE FEEDBACK:**

Staff mailed eight (8) public hearing notices to the owners of properties within 200 feet of the subject property. No responses were received at the time of this report.

---

**FINANCIAL SUMMARY - FUNDING/FISCAL IMPACT:**

N/A

**FUNDS:**

N/A

---

**STAFF RECOMMENDATION/ACTION DESIRED:**

N/A

---

**AGENDA MEETING DATE:** May 9, 2022

**TO:** John Noblitt, City Manager

**FROM:** Ramie Hammonds, Development Service Director

---

**ITEM/CAPTION:**

**1114 N STEMMONS - SUP**

Consider a request for a Specific Use Permit (SUP) for Restaurant use located at 1114 N Stemmons Frwy. in the north suite of a multi-suite building on approximately 1.42 acres of land described as A00290A R. BEEBE, TR 133, zoned as Industrial 1 (I-1) within the City of Sanger and generally located on the corner of N 5th St and N Stemmons Frwy. (Hammonds)

---

**AGENDA TYPE:** Regular

---

**ACTION REQUESTED:** Approval

---

**BACKGROUND:**

- The site is currently zoned Industrial 1 (I-1).
  - The applicant is requesting a SUP for a restaurant that would be located at 1114 N Stemmons Frwy.
  - The suite is one of three located in that building. With one being an Italian restaurant and the other a hair salon.
  - This suite was previously a cleaners.
  - The property to the south is zoned B-2 and SF-8, the property to the north and east is I-1, and the property to the west across I-35 is zoned B-2
- 

**LEGAL/BOARD COMMISSION RECOMMENDATIONS/CITIZEN NOTICE FEEDBACK:**

Staff mailed eight (8) public hearing notices to the owners of properties within 200 feet of the subject property. No responses were received at the time of this report.

---

**FINANCIAL SUMMARY - FUNDING/FISCAL IMPACT:**

N/A

**FUNDS:**

N/A

---

**STAFF RECOMMENDATION/ACTION DESIRED:**

Staff recommends APPROVAL.

---

**ATTACHMENTS:**

| Description       | Upload Date | Type       |
|-------------------|-------------|------------|
| Location Map      | 5/4/2022    | Cover Memo |
| Application       | 5/4/2022    | Cover Memo |
| Letter of Intent  | 5/4/2022    | Cover Memo |
| Restaurant Layout | 5/4/2022    | Cover Memo |



773245

**Subject Area**

1114 N  
STEMMONS FWY

1112 N  
STEMMONS FWY

1108 N  
STEMMONS FWY

1106 N  
STEMMONS FWY

60371

0 25 50 100 Feet



Project Name: Don Julio Taqueria SUP  
 1114 N Stemmons (I-35)  
 Project: 22SANZON-0030

City Limits Exhibits

DISCLAIMER:  
 This map was generated by GIS data provided by the Sanger GIS Department. The City of Sanger does not guarantee the correctness or accuracy of any features on this map. These map products are for illustration purposes only and are not suitable for site-specific decision making. GIS data is subject to constant changes, and may not be complete, accurate or current.  
 Date: 4/24/2022 5:17:21 PM  
 Doc Name: 22SANZON-0030\_1114 Stemmons SUP



May 18th

Jun 13

Jul 5th

June 6th

# SANGER



City Council Approval

## ZONING CHANGE/SUP APPLICATION

Zoning Change

Specific Use Permit

| Applicant                            | Owner (if different from applicant)     |
|--------------------------------------|---|
| Name: Julio cesar Guardado G.        | Name: John Springer                     |
| Company: Don Julio Taqueria          | Company: Spolmyer Properties, LLC       |
| Address: 13182 Goodview Trail Sanger | Address: PO Box 248                     |
| City, State, Zip: 76266              | City, State, Zip: Sanger, Tx 76266      |
| Phone: (940) 390 06 01               | Phone: 940-458-7758                     |
| Fax:                                 | Fax:                                    |
| Email: JulioGuardado264@gmail.com    | Email: springerproperties@earthlink.net |

### Submittal Checklist

wed  
•  
•  
✓  
✓

|   |
|---|
| Site Plan (for Specific Use Permits Only)         |
| One (1) PDF Copy of Site Plan                     |
| Survey with Metes and Bounds Description          |
| Letter of Intent                                  |
| Application Fee (Check Payable to City of Sanger) |

I certify that I am the legal owner of the above referenced property and that to the best of my knowledge this is a true description of the property upon which I have requested the above checked action. I designate the applicant listed as my representative.

Describe the subject property (address, location, size, etc.):

1114 Stemmons NS Sanger tx 76266

Describe the proposed zoning change or Specific Use Permit (SUP):

Owner Signature

Date

Julio Cesar Guardado G.

04-13-22

Applicant Signature

Date

Office Use

|      |
|------|
| Fee  |
| Date |

City of Sanger  
201 Bolivar / P.O Box 1729  
Sanger, TX 76266

940-458-2059 (office)

940-458-4072 (fax)

www.sangertexas.org

Effective Date: 9/03/2019

Today Wednesday April 13, 2022.

I Julio Guardado live in Sanger Tx for nine years, I have a house and a beautiful family. I would like to be a part of this county. to open a business of my own. It would be a taqueria, I would like to be accepted, I have been working for twenty two years for Villa Grande Mexican Restavant, And I've very familiar with the business. My boss or owner is named Edgar suarez. He has been the one that has helped me to be what I am today. I have always dreamed of having a business of my own in Sanger Tx. My kids are in school here. The type of food I'd like to serve would be Mexican-Tex-mex.

# Julio Guardado

---

# Business name

Don Julio Taqueria.

Front door

Window Window Window

Side door

Table

Table

Table

Table

Table

Table

Table

Table

Bathroom 1

toilet

Fridge

Table

Area of service

coke machine

tv

computer

Door

Computer

Table

Fridge

Door

Table

Door

Kitchen

Table

Fridge

Fridge

Warm Cooler

Oven

Grill

stove

Convertible

Frier

Dishwasher

Air Unit

Conditioner

Bathroom 2

toilet

sink

Table

sink

Back door

**AGENDA MEETING DATE: May 9, 2022**

**TO: John Noblitt, City Manager**

**FROM: Ramie Hammonds, Development Service Director**

---

**ITEM/CAPTION:**

**LANE RANCH - ZONING CHANGE - PH**

Conduct a Public Hearing on a zoning change from A (Agricultural District) to PD (Planned Development) for approximately 326 acres of tracts described as A0029A R. BEEBE, TR 56, 56A, 56B, 60, 61 and 65, generally located on the south side of FM 455 and approximately 330 feet east of the intersection of Marion Road and FM 455 and continuing south to McReynolds Rd. (Hammonds)

---

**AGENDA TYPE:** Public Hearing

---

**ACTION REQUESTED:**

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**BACKGROUND:**

- JTWSCM Development, LLC is proposing to rezone the subject property of approximately 326 acres from A (Agricultural) to PD (Planned Development) zoning.
- The property is located along FM 455 corridor and continues south to McReynolds Rd. with a piece along Indian Lane.
- It is made up of 6 different properties owned by Hien T. & Duyet Nguyen, Dualbond Holdings, LLC and Sanger Town Center, LLC. Currently the properties are being used as pasture land.
- It would include approximately 242 acres of single family residential, 16 acres for townhomes, 18 acres of multi-family, 43 acres of neighborhood business, and 8 acres of assisted living.
- There would be approximately 83 acres of open space throughout the development with amenities such as parks, walking trails, dog park, benches, and waste stations.
- Entry monuments, screening walls and community signage will be provided.
- A homeowners association will be established for maintenance.
- Based on Council feedback the applicant made changes to lot sizes, house percentage, park language and SUP language.
- The total lot count was reduced from 913 lots to 875 lots.
- The 46 Estate lots (60') would have a minimum house size of 2250 sq ft and minimum lot size of 7200 sq ft
- The 54 Manor lots (50') would have a minimum house size of 2000 sq ft with 15% allowed to be 1800-2000 sq ft and minimum lot size of 6000 sq ft
- The 158 Garden lots (40') would have a minimum house size of 1650 sq ft with 15% allowed to be 1500-1650 sq ft and minimum lot size of 4800 sq ft
- The 130 Townhomes (8 per acre) would have a minimum house size of 1300 sq ft

- Multifamily will follow the MF-2 zoning requirements

---

**LEGAL/BOARD COMMISSION RECOMMENDATIONS/CITIZEN NOTICE FEEDBACK:**

Staff mailed sixty three (63) public hearing notices to the owners of properties within 200 feet of the subject property. Two responses were received opposed.

---

**FINANCIAL SUMMARY - FUNDING/FISCAL IMPACT:**

N/A

**FUNDS:**

N/A

---

**STAFF RECOMMENDATION/ACTION DESIRED:**

N/A

---

**AGENDA MEETING DATE:** May 9, 2022

**TO:** John Noblitt, City Manager

**FROM:** Ramie Hammonds, Development Service Director

---

**ITEM/CAPTION:**

**LANE RANCH - ZONING CHANGE**

Consider a request for a zoning change from A (Agricultural District) to PD (Planned Development) for approximately 326 acres of tracts described as A0029A R. BEEBE, TR 56, 56A, 56B, 60, 61 and 65, generally located on the south side of FM 455 and approximately 330 feet east of the intersection of Marion Road and FM 455 and continuing south to McReynolds Rd. (Hammonds)

---

**AGENDA TYPE:** Regular

---

**ACTION REQUESTED:** Approval

---

**BACKGROUND:**

- JTWSCM Development, LLC is proposing to rezone the subject property of approximately 326 acres from A (Agricultural) to PD (Planned Development) zoning.
- The property is located along FM 455 corridor and continues south to McReynolds Rd. with a piece along Indian Lane.
- It is made up of 6 different properties owned by Hien T. & Duyet Nguyen, Dualbond Holdings, LLC and Sanger Town Center, LLC. Currently the properties are being used as pasture land.
- It would include approximately 242 acres of single family residential, 16 acres for townhomes, 18 acres of multi-family, 43 acres of neighborhood business, and 8 acres of assisted living.
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- The 130 Townhomes (8 per acre) would have a minimum house size of 1300 sq ft

- Multifamily will follow the MF-2 zoning requirements

---

**LEGAL/BOARD COMMISSION RECOMMENDATIONS/CITIZEN NOTICE FEEDBACK:**

Staff mailed sixty three (63) public hearing notices to the owners of properties within 200 feet of the subject property. Two responses were received opposed.

---

**FINANCIAL SUMMARY - FUNDING/FISCAL IMPACT:**

N/A

**FUNDS:**

N/A

---

**STAFF RECOMMENDATION/ACTION DESIRED:**

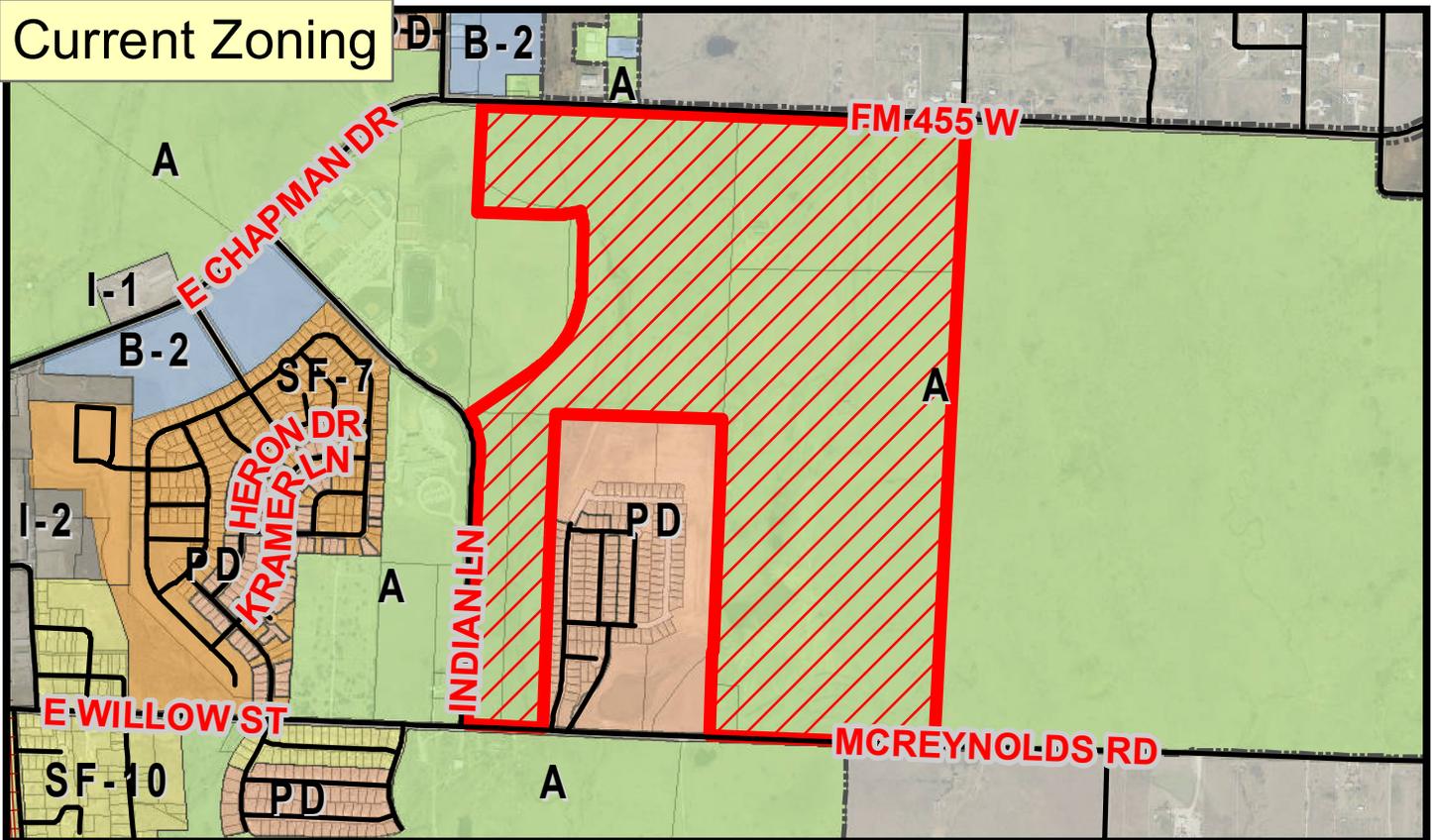
Staff recommend APPROVAL.

---

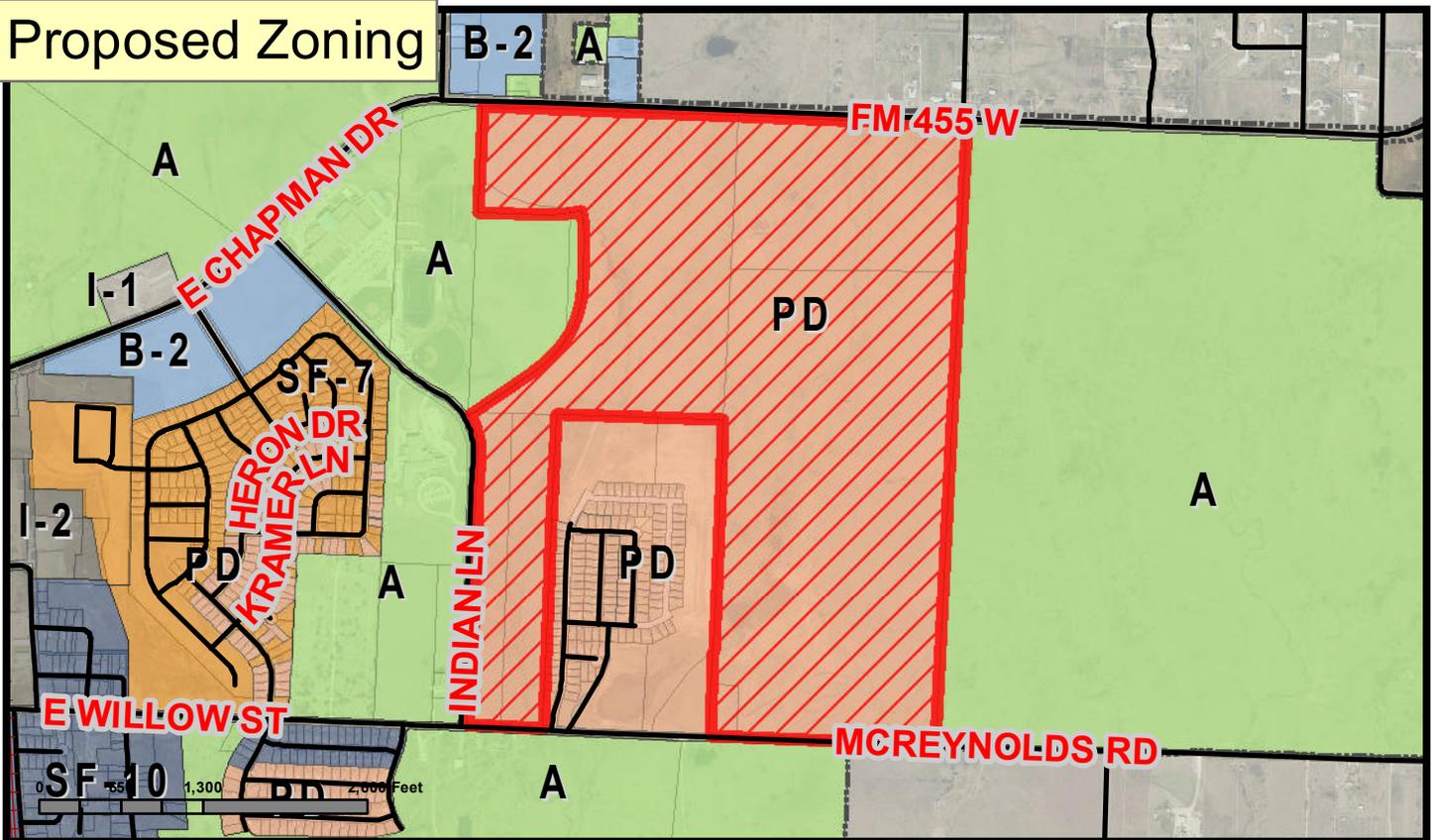
**ATTACHMENTS:**

| Description                 | Upload Date | Type       |
|-----------------------------|-------------|------------|
| Location Map                | 5/4/2022    | Cover Memo |
| Application                 | 5/4/2022    | Cover Memo |
| Letter of Intent            | 5/4/2022    | Cover Memo |
| Ordinance No. 04-11-22      | 5/4/2022    | Cover Memo |
| Returned Comment Response   | 5/4/2022    | Cover Memo |
| Returned Comment Response 2 | 5/4/2022    | Cover Memo |
| Housing Calculator          | 5/4/2022    | Cover Memo |

# Current Zoning



# Proposed Zoning



Location: Lane Ranch - PD Zoning change request  
 Project: 22SANZON-0005

City Limits Exhibits

DISCLAIMER:  
 This map was generated by GIS data provided by the Sanger GIS Department. The City of Sanger does not guarantee the correctness or accuracy of any features on this map. These map products are for illustration purposes only and are not suitable for site-specific decision making. GIS data is subject to constant changes, and may not be complete, accurate or current.



# SANGER

---

★ TEXAS

## ZONING CHANGE/SUP APPLICATION

Zoning Change

Specific Use Permit

| Applicant                             | Owner (if different from applicant) |
|---------------------------------------|-------------------------------------|
| Name: CASEY MCGINNIS                  | Name: SEE ATTACHED SHEET            |
| Company: JTWSCM DEVELOPMENT LLC       | Company:                            |
| Address: 4029 VENETO DRIVE            | Address:                            |
| City, State, Zip: FRISCO, TEXAS 75033 | City, State, Zip:                   |
| Phone: 214-232-6180                   | Phone:                              |
| Fax: N/A                              | Fax:                                |
| Email: MCGINNISDEVELOPMENT@GMAIL.COM  | Email:                              |

### Submittal Checklist

|   |   |
|---|---|
|   | Site Plan (for Specific Use Permits Only)         |
| X | One (1) PDF Copy of Site Plan                     |
| X | Survey with Metes and Bounds Description          |
| X | Letter of Intent                                  |
| X | Application Fee (Check Payable to City of Sanger) |

I certify that I am the legal owner of the above referenced property and that to the best of my knowledge this is a true description of the property upon which I have requested the above checked action. I designate the applicant listed as my representative.

Describe the subject property (address, location, size, etc.):

326.825 ACRES LOCATED AT THE NORTHEAST CORNER OF INDIAN LANE AND MCREYNOLDS ROAD

Describe the proposed zoning change or Specific Use Permit (SUP):

REQUESTING A PD TO INCLUDE SINGE FAMILY RESIDENTIAL, TOWNHOME, MULTI-FAMILY AND GENERAL BUSINESS

SEE ATTACHED SHEET FOR OWNER SIGNATURES

Owner Signature

Date

Applicant Signature

Date

Office Use

|  |      |
|--|------|
|  | Fee  |
|  | Date |

City of Sanger  
201 Bolivar / P.O Box 1729  
Sanger, TX 76266

940-458-2059 (office)

940-458-4072 (fax)

www.sangertexas.org

Effective Date: 9/03/2019

LANE RANCH PD OWNERSHIPS (THIS INFORMATION WAS TAKEN FROM THE DENTON COUNTY APPRASIAL WEB SITE)

1)

NGUYEN, HIEN T & DUYET 151.67 ACRES  
3608 WAYNOKA DR,  
CARROLLTON, TX, 75007-2792  
PHONE: (469) 900-7113  
EMAIL: [nguyenhelen15@gmail.com](mailto:nguyenhelen15@gmail.com)

A0029A R. BEEBE, TR 56B, 149.658 ACRES, OLD DCAD SHT 2, TR 3  
A0029A R. BEEBE, TR 56A, 2.012 ACRES

SIGNATURE: 



2)

DUALBOND HOLDINGS LLC 51.17 ACRES  
MR. JONATHAN WANG  
101 FOREST BEND DR,  
COPPELL, TX, 75019-2040  
PHONE: (214) 316-2256  
EMAIL: [wangjtc@verizon.net](mailto:wangjtc@verizon.net)

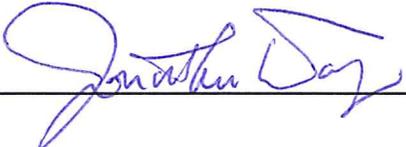
A0029A R. BEEBE, TR 56, 51.17 ACRES, OLD DCAD SHT 2, TR 3

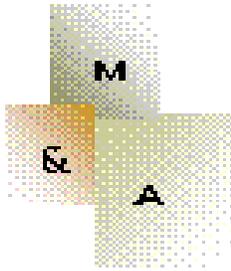
SIGNATURE: 

3)

SANGER TOWN CENTER LLC 122.52 ACRES  
MR. JONATHAN WANG  
101 FOREST BEND DR,  
COPPELL, TX, 75019-2040  
PHONE: (214) 316-2256  
EMAIL: [wangjtc@verizon.net](mailto:wangjtc@verizon.net)

A0029A R. BEEBE, TR 65(PT), 84.5014 ACRES, OLD DCAD SHT 2, TR 4  
A0029A R. BEEBE, TR 60, 25.22 ACRES, OLD DCAD SHT 2, TR 7  
A0029A R. BEEBE, TR 61, 12.8 ACRES, OLD DCAD SHT 2, TR 8

SIGNATURE: 



**MIDDLETON & ASSOCIATES, LLC**

**CONSULTING CIVIL ENGINEERS AND LAND PLANNERS**

February 2, 2022

Ms. Ramie Hammonds  
Director of Development Services  
City of Sanger  
201 Bolivar Street  
Sanger, Texas 76266

RE: Letter of Intent  
Rezoning for Lane Ranch  
Sanger, Texas

Dear Ramie:

Please accept this Letter of Intent for the rezoning of the Lane Ranch property located at the northeastern intersection of McReynolds Road and Indian Lane in Sanger. The property is approximately 326 acres consisting of six (6) different properties owned by Hien T. & Duyet Nguyen, Dualbond Holdings, LLC and Sanger Town Center, LLC. This tract is current open pastureland with no tree cover.

The purpose of this request is to change the zoning from existing Agricultural to Planned Development. The Cities Future Land Use Plan identifies this area as Urban Low Density Residential with a Neighborhood Park. The proposed PD would include single family residential, townhomes, neighborhood business and a 59-acre public park with amenities. The applicant for this submittal is Mr. Casey McGinnis with JTWSCM Development.

If you have any other questions or would like additional information regarding our submittal, please contact myself at 972-393-9800 or Mr. McGinnis at 214-232-6180.

Sincerely,  
**MIDDLETON & ASSOCIATES, LLC.**

Eugene Middleton, P.E.  
President

**CITY OF SANGER, TEXAS**  
**ORDINANCE No. 04-11-22**

**AN ORDINANCE OF THE CITY OF SANGER, DENTON COUNTY, TEXAS, REZONING APPROXIMATELY 326 ACRES OF TRACTS DESCRIBED AS A0029A R. BEEBE, TR 56, 56A, 56B, 60, 61 and 65, FROM “A” AGRICULTURAL TO “PD” PLANNED DEVELOPMENT; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE IN ACCORDANCE WITH SECTION 1.109 OF THE CODE OF ORDINANCE FOR VIOLATIONS; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the City of Sanger (the “City”) is a home rule municipality regulated by state law and Charter; and

**WHEREAS**, the City Council finds it necessary for the public health, safety, and welfare that development occur in a controlled and orderly manner; and

**WHEREAS**, the Planning and Zoning Commission on May 9, 2022, duly covered and conducted public hearing for the purpose of assessing a request for amendment to the Zoning Map, recommending approval for the hereinafter described property; and

**WHEREAS**, On May 9, 2022 the City Council approved the amendment to the Zoning Map from Agricultural (A) to Planned Development (PD); and

**WHEREAS**, all request for amendment to the Zoning Map were duly filed with the City of Sanger, Texas, concerning the hereinafter described property; and

**WHEREAS**, the following provision of proper legal notice requirements, including written notice to owners within 200 feet of the subject property, were made in the time and manner prescribed by law; and

**WHEREAS**, the City Council finds that the passage of this Ordinance is in the best interest of the citizens of Sanger.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SANGER, TEXAS:**

**SECTION 1.** That the legal description of the tracts zoned herein is generally described as **A0029A R. BEEBE, TR 56, 56A, 56B, 60, 61 and 65 326 ACRES.**

**SECTION 2.** That the subject property described in Section 1 and further described through metes and bounds in Exhibit A, and generally located on the south side of FM 455 and approximately 330 feet east of the intersection of Marion Road and FM 455 and continuing south

to McReynolds Rd, is rezoned from A (Agricultural) to PD (Planned Development), as illustrated in Exhibit B and the conceptual plan as illustrated in Exhibit C.

**SECTION 3.** That all matters stated in the preamble are found to be true and correct and are incorporated herein as if copied in their entirety.

**SECTION 4.** All ordinances or parts of ordinances in conflict herewith are, to the extent of such conflict, hereby repealed.

**SECTION 5.** It is hereby declared to be the intention of the City Council that the sections, paragraphs, sentences, clauses, phrases and words of this Ordinance are severable and, if any word, phrase, clause, sentence, paragraph, or section of this Ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining portions of this Ordinance, since the same would have been enacted by the City Council without the incorporation in this Ordinance of any such unconstitutional word, phrase, clause, sentence, paragraph, or section.

**SECTION 6.** Any person, firm or corporation who shall violate any of the provisions of this article shall be guilty of a misdemeanor and upon conviction shall be fined in accordance with the general penalty provision found in The Code of Ordinances, Section 1.109 General Penalty for Violations of Code.

**SECTION 7.** This ordinance will take effect immediately from and after its passage and the publication of the caption, as the law and Charter in such cases provide.

**DULY PASSED, APPROVED AND ADOPTED** by the City Council of the City of Sanger, Texas, on this 9th day of May, 2022.

**APPROVED:**

\_\_\_\_\_  
**Thomas E. Muir, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Kelly Edwards, City Secretary**

**APPROVED TO FORM:**

\_\_\_\_\_  
**Hugh Coleman, City Attorney**

## LEGAL DESCRIPTION

All that certain lot, tract, or parcel of land, being part of the Rueben Bebee Survey, Abstract No. 29, Denton County, Texas, and being all of that tract of land described in a deed to Hien & Duyet Nguyen recorded in Document No. 2016-27020 Real Property Records of Denton, County, Texas (RPRDCT) and all of that tract of land described in a deed to Dualbond Holdings, LLC recorded in Document No. 2016-27021 (RPRDCT) and all of that tract of land described in a deed to Sanger Town Center LLC recorded in Document No. 2017-48301 (RPRDCT), being more completely described as follows, to-wit:

BEGINNING at 1/2" iron rod set for the southeast corner of the Hien & Duyet Nguyen tract and the north right-of-way line of McReynolds Road;

THENCE with the north right-of-way line of McReynolds Road North  $87^{\circ}54'58''$  West a distance of 1,789.63 feet to a 1/2" iron rod set for the southwest corner of the Hien & Duyet Nguyen tract and the southeast corner of a tract of land described in a deed to Winston Grove Apartments, LLC recorded in Document No. 2018-13037 (RPRDCT);

THENCE North  $2^{\circ}23'22''$  East a distance of 2,526.23 feet to 1/2" iron rod set for the northeast corner of a tract of land described in a deed to Marion Hills Apartments, LLC recorded in Document No. 2017-92008 (RPRDCT);

THENCE North  $88^{\circ}13'32''$  West a distance of 1,325.35 feet to a 2" iron rod found for the northwest corner of the Marion Hills Apartments, LLC;

THENCE South  $2^{\circ}25'03''$  West a distance of 2,504.45 feet to a 1/2" iron rod set for the southwest corner of Lake Ridge Estates, Phase 1 an addition to the City of Sanger recorded in Cabinet V, Page 752 of the Plat Records of Denton County, Texas (PRDCT) and the north right-of-way line of McReynolds Road;

THENCE with the north right-of-way line of McReynolds Road North  $87^{\circ}25'44''$  West a distance of 612.45 feet to a 1/2" iron rod set for the southwest corner of the Sanger Town Center LLC tract and the east right-of-way line of Indian Lane right-of-way recorded in Document No. 2004-145888 (RPRDCT);

THENCE with the east right-of-way line of Indian Lane as follows:

North  $2^{\circ}15'10''$  East a distance of 1,935.36 feet to a 1/2" iron rod set for corner;

North  $5^{\circ}39'58''$  East a distance of 200.32 feet to a 1/2" iron rod set for corner;

North  $2^{\circ}02'56''$  East a distance of 24.96 feet to the beginning of a beginning of a curve to the left, having a radius of 550.39 feet, a chord of North  $14^{\circ}26'46''$  West – 313.65 feet, a distance of 318.05 feet to a 1/2" iron rod set for the southwest corner of land described in a deed to Marion Hills Apartments, LLC recorded in Document No. 2017-48293 (RPRDCT);

THENCE with the east line of the Marion Hills Apartments, LLC as follows:

North  $56^{\circ}02'48''$  East a distance of 658.23 feet to a 1/2" iron rod set for the beginning of a curve to the left, having a radius of 800.00 feet, a chord of North  $29^{\circ}03'15''$  East – 726.20 feet, a distance of 753.77 feet to a 1/2" iron rod set corner;

North  $2^{\circ}03'42''$  East a distance of 408.45 feet to the beginning of a curve to the left, having a radius of 800.00 feet, a chord of North  $05^{\circ}18'19''$  West – 205.15 feet, a distance of 205.72 feet to a 1/2" iron rod set for the northeast corner of the Marion Hills Apartments, LLC tract;

THENCE with the north line of the Marion Hills Apartments, LLC as follows:

South  $78^{\circ}30'05''$  West a distance of 64.61 feet to a curve to the right, having a radius of 800.00 feet, a chord of South  $85^{\circ}33'17''$  West – 196.47 feet, a distance of 196.97 feet to a 1/2" iron rod set corner;

North 87°23'31" West a distance of 565.51 feet to a 1/2" iron rod set for the northwest corner of the Marion Hills Apartments, LLC and the east line of a tract of land described in a deed to Sanger ISD recorded in Volume 1841, Page 662 (RPRDCT);

THENCE with the east line of the Sanger ISD tract North 2°36'29" East a distance of 840.18 feet to a 1/2" iron rod set for the northeast corner of the Sanger ISD tract and the northwest corner of the Sanger Town Center LLC and the south right-of-way line of West Chapman Road;

THENCE with the south right-of-way line of West Chapman Road and the north line of the Sanger Town Center LLC as follows:

South 87°53'26" East a distance of 1,269.90 feet to a 1/2" iron rod set for corner;

South 88°02'57" East a distance of 500.69 feet to a 1/2" iron rod set for corner;

South 87°47'23" East a distance of 2,068.95 feet to a 1/2" iron rod set for the northeast corner of the Dualbond Holdings, LLC Tract and the northwest corner of a tract of land described in a deed to Miller Family Trust recorded in Document No. 94-0089391 (RPRDCT);

THENCE with the west line of the Miller Family Trust tract South 2°58'32" West a distance of 1,272.08 feet to a 1/2" iron rod set for corner;

THENCE South 2°42'07" West a distance of 3,659.25 feet to the place of beginning, containing 326.825 acres, or 14,236,483 square feet of land.

# EXHIBIT B

## 326.825 ACRE LANE RANCH PD SUMMARY

Purpose Statement - To establish a quality master planned multi-phase and multiple product residential and commercial community for the property described by metes and bounds on Exhibit "A" (the "Property") of this PD Ordinance. Development and use of the Property shall

comply with the Sanger Zoning Ordinance as it existed on the date of its adoption on August 3, 1987 and subsequent amended (the "The Zoning Ordinance") and this PD ordinance. In the event of a conflict between the Zoning Ordinance and this PD Ordinance, this PD ordinance shall control.

### **PROPOSED USES**

#### Single Family (242.890 Acres)

Approximately 152.38 acres are proposed as single family detached uses, 16.35 acres as single family attached (townhome) and 74.16 acres of open space. The net density is 3.76 units/acre.

#### Business District (83.935 Acres)

Approximately 43.079 acres are proposed as local business and retail, 8.762 acres of assisted living along with 18.469 acres of multi-family and 13.625 acres of open space.

### **COMMUNITY FEATURES**

The hardscape within the community shall include entry monuments, screening walls and community signage constructed of brick or stone. Signs shall not be within the sight visibility triangles.

A mandatory homeowners association shall be established to own and maintain the private open spaces, common areas and greenbelts; all private landscape improvements; dog parks and dog waste stations, perimeter masonry and tubular steel fencing; entry monuments and signage. The homeowner's association shall maintain on street parking spaces within a street right-of-way and any parking spaces located within a common area lot. Private trails and sidewalks shall be constructed within a pedestrian access easement and owned and maintained by the HOA.

The 100-year floodplain shall be designated as a public drainage easement within the Public Parkland dedication. Maintenance responsibility shall be identified on the plat using the City of Sanger Standard drainage easement inscription.

## **RESIDENTIAL LAND USES**

**I. Lot Sizes, Setbacks, etc. for Single Family Detached.** Except as otherwise provided below, detached single family residences shall comply with Section 53, “R-1” RESIDENTIAL DISTRICT -1 of the Zoning Ordinance, subject to the following changes:

A. Minimum Lot Width, Depth, and Size.

The Estate Lots (60’ X 120’):

The minimum lot width shall be 60 feet. The minimum lot depth shall be 120 feet. The minimum lot size shall be 7,200 square feet.

The Manor Lots (50’ X 120’):

The minimum lot width shall be 50 feet. The minimum lot depth shall be 120 feet. The minimum lot size shall be 6,000 square feet.

The Garden Lots (40’ X 120’):

The minimum lot width shall be 40 feet. The minimum lot depth shall be 120 feet. The minimum lot size shall be 4,800 square feet.

B. Minimum House Size.

The Estate Lots:

The minimum air-conditioned area within each residence shall be 2,250 square feet.

The Manor Lots:

The minimum air-conditioned area within each residence shall be 1,800 square feet. Over the entire development, the Manor Lots shall average over 2,000 square feet in house size. The Manor Lots shall place a limit of 15% of the total lot count to be below 2,000 square feet.

The Garden Lots:

The minimum air-conditioned area within each residence shall be 1,500 square feet. Over the entire development, the Garden Lots shall average over 1,650 square feet in house size. The Garden Lots shall place a limit of 15% of the total lot count to be below 1,650 square feet.

C. Maximum Height.

The maximum building height shall be 2 stories or 35 feet.

D. Front Yard Setback.

The minimum front yard building setback shall be twenty-five feet (25'). Front porches and architectural features such as stoops, overhangs, courtyard walls, masonry chimneys and bay windows may extend into the front yard a maximum of five feet (5').

E. Side Yard Setback.

The minimum side yard building setback shall be five feet (5') on each side. A side yard adjacent to a street on a corner lot shall always have a minimum ten-foot (10') side yard building setback.

F. Rear Yard Setback.

The minimum rear yard building setback shall be twenty feet (20') from the rear facade of the residence (excluding porches and projecting architectural features) to the rear lot line. Porches and architectural features such as stoops, overhangs, courtyard walls, masonry chimneys and bay windows may extend into the rear yard a maximum of five feet (5').

G. Maximum Lot Coverage.

The maximum lot coverage will be 65% for any residential lot.

H. Garages.

An enclosed parking area of at least four hundred square feet shall be provided for a garage (this does not count towards the minimum house size). The face of a garage door must be located at least 20 feet from the street right-of-way line that the garage door faces. The garage door does not have to be behind the street facing façade of the house. Split garage doors with a separate door for each vehicle bay are not required.

I. Design Elements

All residential dwellings will meet the City of Sanger Exterior Façade Design Criteria Manual as adopted on October 7, 2019.

**II. Lot Sizes, Setbacks, etc. for Single Family Attached.** Except as otherwise provided below, attached single family residences shall comply with Section 57, "TH" TOWNHOME RESIDENTIAL DISTRICT of the Zoning Ordinance, subject to the following changes:

A. Minimum Lot Width, Depth, and Size.

The minimum lot width shall be 22 feet. The minimum lot depth shall be 90 feet. The minimum lot size shall be 1,980 square feet.

B. Minimum House Size.

The minimum air-conditioned area within each residence shall be 1,300 square feet.

C. Maximum Height.

The maximum building height shall be 2 stories or 35 feet.

D. Front Yard Setback.

The minimum front yard building setback shall be twenty-five feet (20'). Front porches and architectural features such as stoops, overhangs, courtyard walls, masonry chimneys and bay windows may extend into the front yard a maximum of five feet (5').

E. Side Yard Setback.

The minimum side yard building setback at the end of each building shall be seven- and one-half feet (7.5') on each side creating a 15-foot separation between buildings. A side yard adjacent to a street on a corner lot shall always have a minimum twenty-foot (20') side yard building setback.

F. Rear Yard Setback.

The minimum rear yard setback shall be five feet from the rear facade of the residence to the alley right-of-way.

G. Maximum Lot Coverage.

The maximum lot coverage shall not apply to any townhomes.

H. Parking

Two off-street parking spaces shall be provided per unit and shall not be within the required front yard.

I. Design Elements

All residential dwellings will meet the City of Sanger Exterior Façade Design Criteria Manual as adopted on October 7, 2019.

**III. Lot Sizes, Setbacks, etc. for Multi-Family.** Multi-Family residences shall comply with Section 19, "MF-2" MULTI-FAMILY RESIDENTIAL DISTRICT – 2 of the Zoning Ordinance.

**IV. General Conditions.**

- A. For the purposes of determining compliance with the lot width requirements, lot widths shall be measured at the rear of the required front yard setback as shown on the Final Plats.
- B. Sidewalks may be located outside of the public right-of-way if located within an adjacent open space lot with a pedestrian access easement to provide for meandering sidewalks and trails that may be located within adjacent common area lots or to preserve existing trees along perimeter roads.

**V. Residential Single Family Detached Landscape Requirements.** Except as otherwise provided below, landscape requirements shall comply with Section 48, Landscape Regulations of the Zoning Ordinance, subject to the following changes:

The following requirements apply to single family residential development:

- A. Each single-family residence shall have an irrigation system in the front yard and street corner side yard with a freeze sensor regulator shut off.
- B. Each Home lot shall have a minimum of two shade trees that are at least three inches in caliper planted. The trees shall be planted in the front and rear yard. If the lot fronts or sides onto a common area lot, the front yard requirement may be satisfied with the trees located in the adjacent greenspace. No other front yard or side yard tree planting requirement shall apply.
- C. All required trees shall be selected from a tree list approved during the Detail Plan stage.
- D. Each Home lot shall have a minimum of twelve (12) shrubs placed in the front yard. Individual shrubs shall be a minimum of three (3) gallons in size when planted.

**VI. Multifamily, Townhome and Non-residential Uses Landscape Requirements.**

All landscape requirements shall comply with Sections 48.4 and 48.5, Landscape Regulations of the Zoning Ordinance.

**VII. Parkland/Open Space (83.783 Acres)**

- A. Developer, and its assigns, agree to dedicate approximately 59.7 acres of the total 83.783 acres of floodplain/open space as Public Park property (the “Parkland”) to the City of Sanger. Common areas shall include floodplain, ponds, detention areas, and small open spaces as shown on the Preliminary Park Concept Plan. Small Open Spaces shall be connected with sidewalks to be a comprehensive pedestrian system. Common areas will abut a public street right-of-way in at least one location with a sidewalk connection. The Parkland shall be credited toward the Park Land Dedication requirement.
- B. A pedestrian circulation system shall be provided that affords connectivity to the entire community and the perimeter of the Property. The pedestrian circulation system shall include concrete trails that are a minimum of six feet in width. Trails in greenbelts will be constructed of concrete and shall connect with the project sidewalks. The pedestrian circulation system may be located on private property with a pedestrian access easement or within the right-of-way. The pedestrian circulation system shall include such items as benches, landscaping, signage, lighting, bike racks, water fountains, trash cans, and doggie waste stations. These items are represented on the Park Plan.

- C. All interior residential street rights-of-way shall be improved with sidewalks that are a minimum of four feet in width and (1) constructed by the homebuilders at the time of adjacent house construction; or (2) constructed by the developer for all non-buildable lots. All sidewalks along Collector and Arterial Road frontages are to be five feet in width. The pedestrian circulation system will replace the required public sidewalk along Lane Ranch Drive as shown on the Preliminary Park Concept Plan.
- D. Developer, and its assigns, agree to also install additional amenities such as an off-street parking lot, dog park, covered picnic area, playground equipment and fishing docks as shown on the Preliminary Park Concept Plan. The exact number and location of these amenities may change during the final design process. They are generally represented on the Park Plan.
- E. The phasing of the park improvements will coincide with the residential phasing plan and is noted on the overall Preliminary Park Concept Plan.

#### **VIII. Fencing Requirements**

- A. The developer shall install a perimeter brick or stone screening wall along Major Collector Streets as shown on the Detail Plan. Floodplain, parks, open spaces, right-of- way shall be exempt from the screening requirements in this Section; however, tubular steel fencing may be installed in these areas at the developer's option.
- B. Homebuilder side yard and back yard fencing on residential lots shall be a maximum of six feet in height and shall be setback a minimum of five feet from the front building line shown on the Detail Plan.
- C. Fencing on all residential lots abutting an open space lot or greenbelt shall be restricted to tubular steel painted black. No solid fencing other than a brick and/or stone masonry courtyard wall under 42 inches shall be permitted abutting an open space lot or greenbelt; however, landscape borders, included trimmed hedges, are permitted.

#### **IX. Street Typology**

- A. Standard curbs will be required adjacent to streets abutting all residential lot types unless otherwise approved by the City's engineering department.
- B. Streets fronting open space lots must have standard curbs adjacent to the common area lot. Streets adjacent to common area lots may provide for on-street parking. In addition, the street faces adjacent to open spaces near the flood plain will have a maintenance access location.
- C. Developer shall work with City to determine the location and number of stop signs within the subdivision and speed limits to facilitate traffic calming and maximum the benefit from the pedestrian system.

#### **X. Utilities and Equipment**

- A. Electrical and gas utility meters and AC condensers should be unobtrusively located beyond the front or side street facade zone and screened from view from adjacent streets or common open spaces with landscaping or appropriate fencing.
- B. Transformers on individual lots should be screened to minimize visual impact.
- C. Satellite dishes, and solar panels should be located in less conspicuous locations and out of view from adjacent streets or common open spaces when possible.
- D. Antennas should be located inside the building when possible.
- E. Solar panels when visible from the front should be flush with the roof.

**XI. Refuse Locations**

- A. Refuse containers should be stored within an enclosed storage area, fenced, or walled to be screened from view from adjacent streets or common open spaces with landscaping can be added.

**XII. Home Variety**

- A. Detached home designs with the same or similar facade, materials, or colors should be separated by a minimum of three lots on the same side of the street and should not be located directly across or diagonally across the street from each other.
- B. If a detached home plan is repeated on an adjacent lot, it should be elevated with a different architectural style or two of the following three elevation changes - brick color, roof color, or flipped plan.

**BUSINESS DISTRICT USES**

Except as otherwise provided below, commercial uses shall comply with Section 23, “B-2” Business District - 2 of the Zoning Ordinance, subject to the following changes:

1. An 18.5-acre multi-family site will be allowed. The base zoning for this tract will be “MF-2” Multi-Family Residential District - 2 at 20 units per gross acre.
2. Self-Storage facilities may be allowed by SUP approval.
3. Boat storage facilities may be allowed by SUP approval.

4. The building height for a pitched roof building shall be a maximum of 45 feet.
5. The front, rear and side building setbacks adjacent to any internal street shall be a minimum of 15 feet.
6. Any mechanical equipment including roof top equipment shall be screened from residential districts either by fencing, landscaping or rooftop screening as applicable.







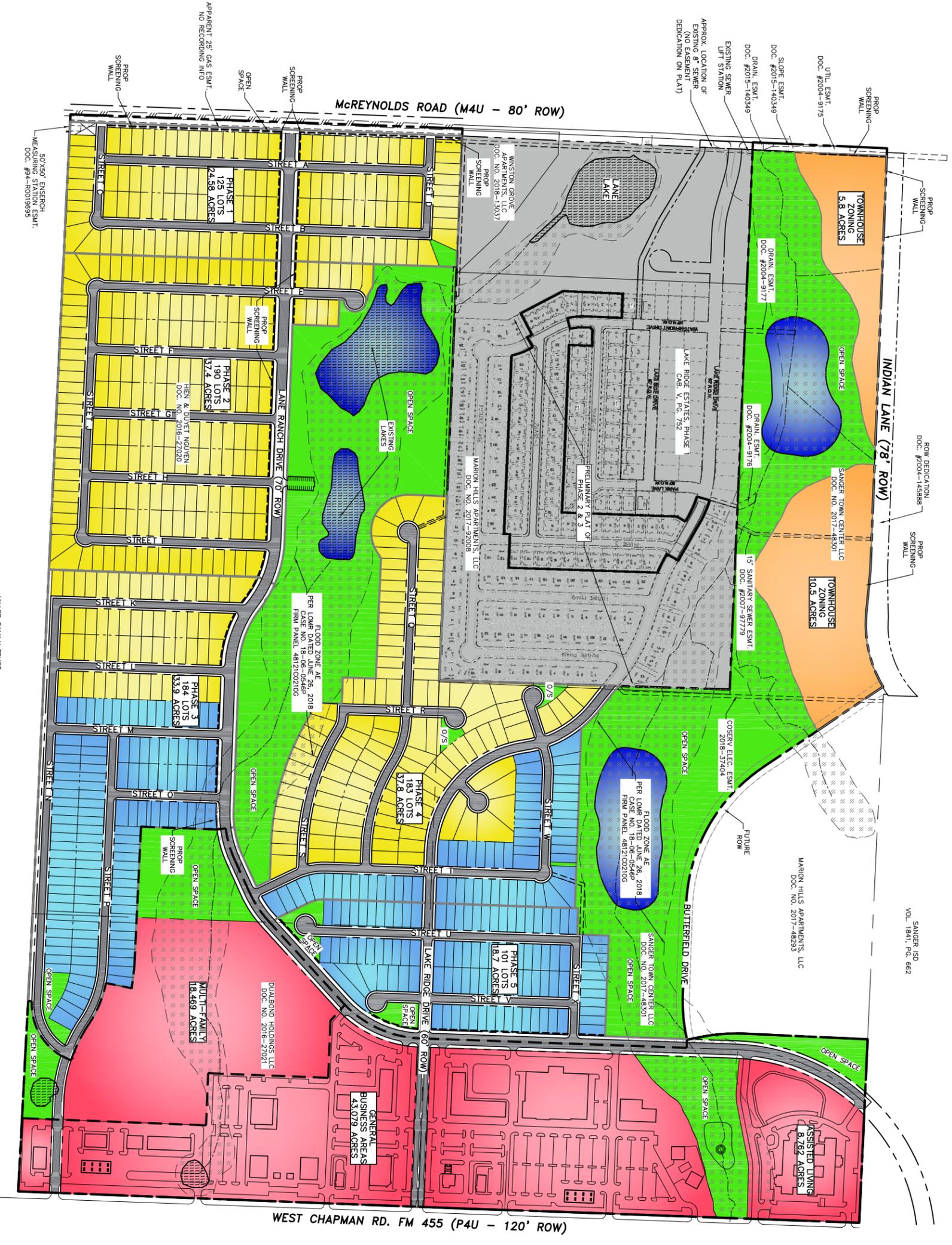








# EXHIBIT C



**LEGEND**

- COMMERCIAL AREAS
- 50'X120' RESIDENTIAL LOTS
- 40'X120' RESIDENTIAL LOTS
- TOWN HOME ZONING
- GRASSY/OPEN SPACE
- LAKES
- STREETS
- LAKERIDGE PD

**RESIDENTIAL LOT COUNT BY SIZE**

|                     |                        |
|---------------------|------------------------|
| 50'X120' LOTS (R-1) | 493 LOTS (MANOR LOTS)  |
| 40'X120' LOTS (R-1) | 290 LOTS (GARDEN LOTS) |
| 24'X100' LOTS (TH)  | 130 LOTS (8 PER AC.)   |
| <b>TOTAL</b>        | <b>913 LOTS</b>        |

**TOTAL RESIDENTIAL AREA - 242,890 AC.**

- SINGLE FAMILY 152,377 AC.
- TOWN HOMES 16,355 AC.
- OPEN SPACE (RESIDENTIAL) 74,158 AC.
- INSIDE FLOODPLAIN 53,051 AC.
- OUTSIDE FLOODPLAIN 21,107 AC.

**TOTAL BUSINESS AREA 83,935 AC.**

- GENERAL BUSINESS 43,079 AC.
- ASSISTED LIVING 8,762 AC.
- MULTI-FAMILY 18,469 AC.
- OPEN SPACE 13,625 AC.

| No. | DATE | REVISION | APPROVED |
|-----|------|----------|----------|
|     |      |          |          |

**Middleton PROJECT ENGINEER**  
**& Associates, LLC.**  
 CONSULTING CIVIL ENGINEERS & LAND PLANNERS  
 TBE #1-10900  
 2785 ROCKBROOK DRIVE, SUITE 105  
 LEWISVILLE, TEXAS 75067 (972) 393-9800

**CONCEPT PLAN**  
 LANE RANCH  
 326.825 ACRES - CITY OF SANGER  
 DENTON COUNTY TEXAS

Drawing File: 0001032CONCEPT4.DWG | DATE: 1-31-22 | SCALE: 1"=250'  
 Project No. 0001032 | SHEET NO. 1 | 1

PRELIMINARY - FOR REVIEW ONLY  
 and not intended for construction, or  
 permit purposes. The work was prepared  
 by F. C. MIDDLETON, JR., P.E. 67449

# Response Form

22SANZON-0005

## Zoning Change from Agricultural to Planned Development

In order for your opinion to be counted, please complete and mail this form to:

**Development Services Department**

**Attn: Ramie Hammonds**

**P.O. Box 1729**

**Sanger, TX 76266**

You may also email or fax a copy to:

Email: [rhammonds@sangertexas.org](mailto:rhammonds@sangertexas.org)

Fax: (940) 458-4072

**Project No:** 22SANZON-0005/ Zoning Change from Agricultural to Planned Development

**Please circle one:** In favor of request

Opposed to request

**Comments:**

The disruption and nuisance it would bring to current residences already built, as well as all school things functions, accessibility, classes - would be absolutely horrendous.

**Signature**

Victoria Parker ; Ty Parker

**Printed Name**

Victoria Parker ; Ty Parker

**Mailing Address**

3015 Lake Ridge DR.

**City, State, Zip**

Sanger, TX 76266

**Phone Number**

800-672-1446 ; 940-395-2140

**Email Address**

Victoria.texas@hotmail.com

**Physical Address of Property within 200 feet**

3015 Lake Ridge DR.

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22SANZON-0005

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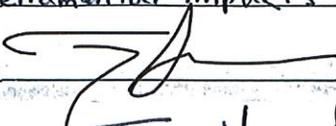
Please circle one: In favor of request

Opposed to request

### Comments:

The LAKE Ridge subdivision is surrounded by Flood Zone AE per NFIP, & is considered B.F.E. Historically, developing in such zones often have detrimental impacts on existing developments. We are opposed.

Signature



Printed Name

Timothy & Tonya Skaggs

Mailing Address

2001 LAKE RIDGE DR

City, State, Zip

Sanger TX 76266

Phone Number

209 403 6767

Email Address

emttim@gmail.com

Physical Address of Property within 200 feet

Yes

|                           | Sept.<br>2016     |                    | Oct.<br>2021      |                    | Mar.<br>2022      |                    | LANE<br>RANCH<br># |                    |                     |
|---------------------------|-------------------|--------------------|-------------------|--------------------|-------------------|--------------------|--------------------|--------------------|---------------------|
|                           | Current<br>Number | Current<br>Percent | Current<br>Number | Current<br>Percent | Current<br>Number | Current<br>Percent | Current<br>Number  | Current<br>Percent | Targeted<br>Percent |
| UNDER 1499 SF             | 888               | 33%                | 950               | 28%                | 951               | 28%                | 1081               | 23%                | 30%                 |
| 1500-1999 SF              | 696               | 26%                | 1032              | 30%                | 1041              | 30%                | 1280               | 27%                | 30%                 |
| 2000+ SF                  | 466               | 17%                | 776               | 22%                | 780               | 23%                | 1286               | 27%                | 25%                 |
| Apartments                | 387               | 14%                | 401               | 12%                | 401               | 12%                | 770                | 16%                | 12%                 |
| Mobile Homes              | 278               | 10%                | 285               | 8%                 | 285               | 8%                 | 285                | 6%                 | 3%                  |
| Total Residential Housing | 2715              | 100%               | 3444              | 100%               | 3458              | 100%               | 4702               | 100%               | 100%                |

Updated on May 3, 2022